

BY THE COMMISSIONERS.

RESOLUTION

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE HOUSING AUTHORITY OF THE CITY OF CALDWELL, IDAHO, AUTHORIZING THE ISSUANCE OF INTERIM NOTES IN THE PRINCIPAL AMOUNT OF UP TO \$394,000 FOR THE PURPOSE OF PROVIDING FUNDS IN ANTICIPATION OF THE ISSUANCE OF BONDS TO THE U.S. FARMERS HOME ADMINISTRATION; PROVIDING FOR THE MANNER OF ISSUANCE AND THE FORM OF SAID WARRANTS; PROVIDING FOR THE PAYMENT OF THE PRINCIPAL AND INTEREST THEREON; AND PROVIDING TERMS, COVENANTS, CONDITIONS, AND OTHER MATTERS PROPERLY RELATING THERETO; AND PROVIDING AN EFFECTIVE DATE.

HOUSING AUTHORITY OF THE CITY OF CALDWELL, IDAHO  
CANYON COUNTY, IDAHO  
INTERIM NOTES OF 1992, SERIES A

BE IT RESOLVED BY THE BOARD OF COMMISSIONERS OF THE HOUSING AUTHORITY OF THE CITY OF CALDWELL, IDAHO, as follows:

WHEREAS, The Housing Authority of the City of Caldwell, Idaho (the "Authority") is a local public housing authority existing under and exercising essential governmental functions by virtue of the laws of the State of Idaho; and

WHEREAS, the Authority is authorized and empowered on behalf of the District by Idaho Code Sections 50-1916, to issue notes to provide funds for construction of improvements to low income migrant housing owned by the Authority to be repaid from funds received through the issuance of housing revenue bonds of the Authority to be purchased by the Farmers Home Administration ("FmHA") and from the proceeds of a grant from FmHA and from any other available funds of the Authority; and

WHEREAS, the Authority is desirous of issuing such notes in order to provide the needed funds;

NOW, THEREFORE, BE IT FURTHER RESOLVED, DETERMINED, AND ORDERED as follows:

Section 1. For the purpose of providing interim funds to pay for costs of construction of improvements to low income migrant housing owned by the Authority and related fees and

expenses, the Authority hereby authorizes the issuance of one or more notes, entitled "Housing Authority of the City of Caldwell, Idaho, Interim Notes of 1992, Series A (the "Notes"), in the total principal amount of up to \$394,000, to be issued from time to time, to West One Bank of Idaho, N.A., Caldwell, Idaho ("Registered Owner") at an interest rate equal to 5.98% per annum throughout the term of each Note in the form attached hereto as Exhibit "A". Interest shall be payable at redemption at the office of the Authority. The authority to issue said Notes from time to time shall continue through August 1, 1992, provided that said Notes may be outstanding until paid. The Authority hereby pledges its full faith and credit to the payment in full of the Notes.

Section 2. The proceeds of the sale of said Notes shall be used exclusively for costs of construction of improvements for the Authority and for related fees and expenses.

Section 3. Said Notes, together with the unpaid interest due thereon computed on the basis of a 365-day year, shall be redeemed and paid in numerical order from the proceeds of housing revenue bonds of the Authority and shall mature within twelve (12) months from the date of their issuance.

Section 4. Such Notes shall be executed in the name of the Authority, by the Chairman of its Board of Commissioners by manual signature, attested to and certified to by the manual signature of the Secretary and the corporate seal of the Authority shall be impressed thereon. Each of the Notes, shall be substantially in the form set forth in Exhibit "A" attached hereto and by this reference made a part hereof.

Section 5. The proceeds of the sale of the Notes shall not be used directly or indirectly to acquire any securities or obligations the acquisition of which would cause the Notes to be arbitrage bonds within the meaning of §103(b)(2) or §148 of the Internal Revenue Code of 1986 (the "Code"), as amended, and a certificate that the Notes are not arbitrage bonds within the meaning of said §103(b)(2) or §148 of the Code will be provided to the purchaser at the time of delivery of the Notes.

Section 6. The Authority hereby represents that the Authority (including all "subordinate entities" of the Authority within the meaning of Section 265(b)(3)(E) of the Code) reasonably anticipates not to issue in the calendar year 1992 obligations bearing interest exempt from federal income taxation under Section 103 of the Code (other than "private activity bonds" as defined in Section 141 of the Code) in an amount greater than \$5,000,000.00.

Section 7. Pursuant to Section 265(b)(3) of the Code, the Authority hereby specifically designates the Notes as "qualified tax-exempt obligations" within the meaning of Section 265(b)(3)(B) of the Code.

Section 8. The Authority shall file on behalf of the Authority IRS Form 8038-GC immediately following the issuance of each Note.

Section 9. This Resolution shall become effective immediately upon its adoption and approval.

ADOPTED by the Board of Commissioners of the Housing Authority of the City of Caldwell, Idaho, this \_\_\_\_ day of \_\_\_\_\_, 1992.

APPROVED:

HOUSING AUTHORITY OF THE CITY OF  
CALDWELL, IDAHO

By \_\_\_\_\_  
CHAIRMAN, BOARD OF COMMISSIONERS

ATTEST:

By \_\_\_\_\_  
SECRETARY

(Form of Interim Note)

No. R-1

\$\_\_\_\_\_

UNITED STATES OF AMERICA

STATE OF IDAHO

CANYON COUNTY

HOUSING AUTHORITY OF THE CITY OF CALDWELL, IDAHO

INTERIM NOTE OF 1992, SERIES A

FOR VALUE RECEIVED, the Housing Authority of the City of Caldwell, Idaho (the "Authority"), acknowledges the Authority to owe, and promises to pay to

WEST ONE BANK, IDAHO, N.A.

the original Registered Owner hereof or its assignee, at its Caldwell Office, on or before the 1st day of August, 1992, the sum of:

\* \* \* \* \_\_\_\_\_ DOLLARS \* \* \* \*

\$\_\_\_\_\_ in lawful money of the United States of America, together with interest thereon in like money at the rate of five and 98/100 percent (5.98%) per annum from the date hereof, interest payable on redemption. Interest shall be calculated based on a 365-day year.

This Note is registered, both as to principal and interest, with Secretary of the Authority, and any transfer hereof must likewise be registered. This Note is a negotiable instrument, payable from grant funds to be received by the Authority from the U.S. Farmers Home Administration ("FmHA") and the issuance of housing revenue bonds of the Authority to FmHA and from any other available funds of the Authority, all as authorized by its Resolution, adopted on the \_\_\_\_ day of \_\_\_\_\_, 1992.

This Note is issued for the purpose of providing part of the interim funds necessary to construct the improvements authorized for the Authority, under and by virtue of and in full conformity with the Constitution and laws of the State of Idaho and the Resolution of the Housing Authority of the City of Caldwell, Idaho.

IT IS HEREBY CERTIFIED, RECITED, AND DECLARED that all matters, acts conditions, and things required by law to make this Interim Note a valid and enforceable limited obligation of the Authority have happened, have been done, and have been performed, and the first proceeds of the payment of the issuance and sale of housing revenue bonds for the Authority, are pledged for the payment of the same.

IN WITNESS WHEREOF, the Board of Commissioners of the Housing Authority of the City of Caldwell, Idaho has caused this Note to be executed on its behalf and under its official seal by its Chairman, by his manual signature thereon, attested by its Secretary, by his manual signature thereon, all as of the \_\_\_\_ day of \_\_\_\_\_, 1992.

ATTEST:

THE HOUSING AUTHORITY OF THE  
CITY OF CALDWELL, IDAHO

By \_\_\_\_\_  
Secretary

By \_\_\_\_\_  
Chairman, Board of  
Commissioners

(Seal)



United States  
Department of  
Agriculture

Farmers  
Home  
Administration

3232 Elder Street  
Boise, Idaho  
83705

January 15, 1992

Commissioners  
Housing Authority City of Caldwell  
P.O. Box 70  
Caldwell, Idaho 83606

Gentlemen:

Your application for a Labor Housing loan has been approved for \$394,000 at 1 percent interest repayable over a 33-year period. A grant in the amount of \$3,544,040 is approved concurrently. This is for the construction of a 60 unit apartment complex at the current site. This approval is subject to the availability of funds, the requirements of applicable Farmers Home Administration (FmHA) regulations, the closing instructions to be issued by our Office of General Counsel, and the conditions listed below.

SECURITY:

Security will consist of revenue bonds on income of the property and housing units.

BUSINESS SERVICES:

You must operate in accordance with the loan & grant resolution which you must execute before construction begins. You may not divert income from the housing project to any other business or enterprise.

Monthly rental rates for the various rental units in this project are approved as follows, and may not be changed without the prior written approval of FmHA:

Apartments	\$170
2-Bedroom	\$260
3-Bedroom	\$280
4-Bedroom	\$300

*(10% vacancy allowance)  
- 7 month seasonal occupancy rate*

FmHA District Director will review and approve utility allowances prior to occupancy. Any changes in these rental rates and/or utility allowances must be submitted to FmHA for their review and concurrence. If a change is allowed in the rental rates, you must follow the rental rate increase procedures required by FmHA regulations.



The borrower will not discriminate, or permit discrimination by any agent, lessee, or other operator in the use or occupancy of the housing or related facilities because of race, color, religion, age, sex, marital status, handicap, or national origin, and will comply with Subpart E of Part 1901.

To be eligible for occupancy in this project, the tenants must be Domestic Farm Laborers as defined by FmHA.

Each tenant occupying a unit in this project must enter into a written lease agreement. Tenants must complete Form FmHA 1944-8, "Tenant Certification," and agree to recertification every 12 months.

A method of bookkeeping for the project must be established and placed into operation no later than the date of loan closing. As a minimum, all of the housing operations and loan servicing accounts outlined in your loan and grant resolution must be established and maintained during the life of your loan.

A complete audit will be provided annually to the FmHA not later than 60 days after the end of the project's fiscal operating year. A copy of "Instruction to Independent Certified Public Accountants and Licensed Public Accountants Performing Audits for FmHA Borrowers and Grantees" is enclosed for your review. You may wish to forward this to your accountant to assure that operations, income and expense must also be submitted within 60 days of the end of the project's fiscal year.

Annual budgets and changes in operating plans must be submitted for FmHA's review and approval not less than 60 days before their effective dates and in accordance with the requirements of your loan.

For at least the first full fiscal year after completion of the facilities, "Monthly Reports" must be submitted to FmHA using Form FmHA 1930-6.

#### INSURANCE:

The following levels of insurance will be required for this project upon completion and evidence of this insurance must be provided to FmHA.

Liability Insurance: The minimum amount of liability insurance required is \$50,000/\$100,000 bodily injury liability and \$25,000 property damage liability.

Real Property Insurance: Fire and extended coverage at least equal to an amount determined by the FmHA District Director sufficient to represent replacement cost of existing insurable buildings and those to be constructed. This will be determined with the use of Form FmHA 426-1.



Workmen's Compensation Insurance: Suitable workmen's compensation must be provided all employees of this project.

Insurance During Construction: During the period of construction and prior to the FmHA loan closing, you should obtain the appropriate Builders Risk, Liability, Workmen's Compensation, and any other insurances required by the interim lender in amounts sufficient to protect yourself and the interim lender from any possible loss.

BONDING:

Fidelity bond coverage is required for the official, firm, or position entrusted with the receipt, custody, and disbursement of funds and/or other negotiable or readily saleable property. The United States of America, acting through the Farmers Home Administration, must be named co-obligee in the bond.

CONSTRUCTION AND DEVELOPMENT:

All construction and development must be completed in accordance with the final FmHA approved plans and specifications and any changes or alterations subsequently approved or required by FmHA. Deviation from these approved plans and specifications will not be permitted without prior written FmHA approval. All applicable provisions of FmHA Instruction 1924-A will apply.

A surety bond will be required in accordance with FmHA Instruction 1924-A, 1924.6 (a) (3).

The project will be constructed by the contract method.

A written, dated, and signed statement must be provided to FmHA prior to beginning construction agreeing to provide any funds necessary in excess of the loan amount to complete the proposed project.

You will be expected to use interim financing for the loan portion of construction of the project. Subject to the conditions outlined in this letter, the FmHA interim financing letter will be issued by this office. You are cautioned not to begin construction or otherwise incur obligations prior to the issuance of the FmHA interim financing letter and approval of the construction contract by FmHA.

OTHER CONDITIONS:

The loan will be closed on the PASS System with monthly payments.

The existing debt to FmHA will be reamortized for the maximum term on the monthly payment PASS system.





If you have any questions regarding this letter or the processing of your loan, please contact your District Director.

Sincerely,

*Mike Field*

Michael A. Field  
State Director

cc: District Director, FmHA, Caldwell, Idaho



# MATERIALS TESTING CORPORATION

January 15, 1992  
Page # 1 of 18

CROWDER ASSOCIATES  
2995 N. Cole Rd.  
Boise, Idaho 83704

Attn: Mr. Ray Crowder

Re: Proposal for Asbestos Survey and Bulk Sample Analysis for  
Farm Labor Housing Project

Dear Mr. Crowder:

MTC would like to submit this letter of qualifications for providing the testing and inspection services on the above referenced project.

MTC's office is located in the Franklin Business Park at 230 South Cole Road, Boise. This location provides us with quick easy access to any job site in Treasure Valley. In addition, we can set up and maintain on-site labs at projects located anywhere in Washington, Oregon, and Idaho.

In addition, we can perform on-site analysis of air samples during your abatement project. MTC personnel have the capability and experience to write asbestos abatement specifications including the legal portion of the specification. If required, we can advertise your abatement project as you require and help with the walk through and the contractor selection. Our experience concerning specification writing is quite extensive.

Due to the size, nature of our services, and the inability of MTC to control the contractors work schedule, MTC cannot provide your firm with "Total not to Exceed" cost for a project. However, page eight is an estimation of the project fees involved.

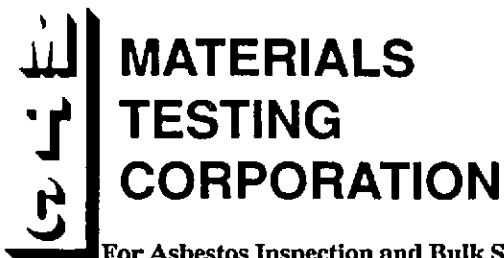
If you accept MTC's Proposal for the above referenced project please sign below and return a copy to our office. In addition please provide us with a list of to whom and where you would like to have copies of our reports distributed. Also, please provide MTC with a copy of the project plans and specifications with any and all addendums.

If you have any questions concerning this proposal, would like to discuss any particular items, or if we could be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
Steven P. Morta *for*  
Division Manager

Accepted By: \_\_\_\_\_  
Title: \_\_\_\_\_  
Company: \_\_\_\_\_  
Date: \_\_\_\_\_



# MATERIALS TESTING CORPORATION

January 15, 1992  
Page # 8 of 18

## ESTIMATED SERVICES & FEES

For Asbestos Inspection and Bulk Sample Analysis of the Farm Labor Camp Demolition Project

The following estimated fees for your project are based upon the items and quantities quoted (this is not a "Not to Exceed" quote). All services and fees which are beyond the scope of this estimated will be charged at our standard rates. If you have any questions, please call our office at (208) 376-4748.

### ENVIRONMENTAL SERVICES

Site Inspection	\$30.00	0	\$ 0.00
State/Federal Database Records	\$ 450.00	0	\$ 0.00
ESA Report Preparation, per hour	\$ 45.00	0	\$ 0.00
Chain of Title (will be supplied by client)	\$ 550.00	0	\$ 0.00

### ASBESTOS SERVICES

Air Sample Analysis	\$ 12.00	0	\$ 0.00
Air Sample Analysis, RUSH	\$ 18.00	0	\$ 0.00
Asbestos Air Monitoring	\$ 30.00	0	\$ 0.00
Asbestos Air Monitoring, Overtime	\$ 45.00	0	\$ 0.00
Asbestos Air Monitoring Cassettes	\$ 65.00	0	\$ 0.00
Asbestos NESHAP Certification Course ( 10 person minimum )	\$ 50.00	0	\$ 0.00
Asbestos Inspector	\$ 30.00	27 hours	\$810.00
Asbestos Inspector, Overtime	\$ 45.00	0	\$ 0.00
Asbestos Bulk Sample Analysis	\$ 18.00	0	\$ 0.00
Asbestos Bulk Sample, Over 20 Samples at one time	\$ 15.00	300 (max)	\$4500.00
Asbestos Bulk Samples, RUSH	\$ 24.00	0	\$ 0.00
Asbestos Bulk Sample, Point Count Method	\$ 75.00	0	\$ 0.00
Asbestos Management Planner/ Project Designer & Supervision	\$ 40.00	0	\$ 0.00
TEM Analysis (24 Hour Analysis Turn Around)	\$160.00	0	\$ 0.00
Asbestos Specification Writing per hour including walk through and site visits	\$45.00	0	\$ 0.00

### MISCELLANEOUS TESTING SERVICES

Mileage	\$0.35	0	\$ 0.00
Per Diem, per day	\$ 55.00	0	\$ 0.00
Professional Engineer	\$65.00	0	\$ 0.00
Mobilization To and From (Hourly Rate)	\$25.00	0	\$ 0.00

**ESTIMATED PROJECT TOTALS:**

**\$5310.00**

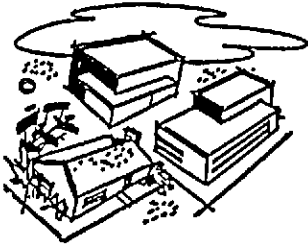
# HOUSING AUTHORITY OF THE CITY OF CALDWELL

Established in 1946

P. O. Box 70

CALDWELL, IDAHO 83605

TELEPHONE  
459-2232



November 25, 1991

TO WHOM IT MAY CONCERN:

Because construction of 60 new houses and other new buildings is to begin in March, 1992, here in what is presently known as the 'Caldwell Labor Camp', it became evident that it is no longer appropriate to use the name 'Labor Camp' to identify this area also that this would be an ideal time to inquire of all the people living on 'Labor Camp Road' as to their name preference for the road.

During the past few years much has been said about the name 'Labor Camp Road' by those living on it. This petition reflects the negative views of most. The name 'Labor Camp' is a thing of the past. It's true those living here labor but it is not a camp. Even those living here do not like the connotation the name reflects. When the present housing complex is full there are more than a thousand people living here all of which would prefer a road name change. So to couple these 1000 people with all the names on the petition who all live on Labor Camp Road it would represent a goodly number of people who fundamentally support our community that desire another name for Labor Camp Road. The present 'Labor Camp Road' is really a continuation of Farmway Road so the new name 'N. Farmway Road' would be very appropriate.

We do appeal to you, the County Commissioners, to favorably consider this request. By far the majority of those living on the road and all those living within the housing complex would prefer the road name changed. Your positive response in this matter would be good for Caldwell, for those living in this part of the County and a good example of your progressiveness. Thank you for your consideration of this matter and please be assured that we remain,

Sincerely,

Housing Authority of Caldwell

ROAD NAME CHANGE

AGREED TO NAME CHANGE

27406, 26539, 28439, 28614, 28803, 29158, 29484, 22715, 24673  
24702, 24683, 24627, 24535, 24525, 24637, 24702, 24683, 24627,  
24535, 24532, 24446, 24472, 24230, 24212, 24000, 23886, 23015  
22841, 22659, 26512-A, 26512-B, 26755-A, 26755-B, 16014, 26911-A  
26911-B, 27265, 28117, 28265, 28441, 28439, 28816, 29343-A,  
293343-B, 29881.

NOBODY HOME. ATTEMPTED TO CONTACT TWICE.

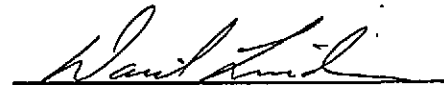
23978, 24078, 24304, 24575, 24731, 24813, 24815, 27657, 28021,  
28209, 28313, 29246, 29557, 29626, 29896, 29502, 24731, 24813  
24815, 24595, 24304.

DID NOT WANT TO SIGN

22689, 24427, 24455, 22430, 22689, 24427, 24877, 24902, 28243,  
28885, 28969, 28243, 28969.

LOTS ONLY 29910, 26756  
TO HWY 30 27653  
TO HOLLOW ROAD. 29077

Caldwell Housing Authority



David Linden  
Administrator

ROAD NAME CHANGE

AGREED TO NAME CHANGE

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24535, 24532, 24446, 24472, 24230, 24212, 24000, 23886, 23015  
22841, 22659, 26512-A, 26512-B, 26755-A, 26755-B, 16014, 26911-A  
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TO HOLLOW ROAD. 29077

Caldwell Housing Authority



David Linden  
Administrator

# P E T I T I O N

WE DO HEREBELOW PETITION THE CANYON COUNTY COMMISSIONERS FOR A ROAD NAME CHANGE. THE LABOR CAMP ROAD DERIVED IT'S NAME FROM THE LABOR CAMP. WITH PLANS FOR NEW CONSTRUCTION AT THE LABOR CAMP WELL UNDERWAY IT'S TIME FOR A NEW BEGINNING REPLACING BOTH THE ROAD AND THE CAMP NAME WITH SOMETHING MORE APPROPRIATE. SINCE THE PRESENT LABOR CAMP ROAD IS A CONTINUATION OF FARMWAY ROAD ON THE SOUTH OF CALDWELL WE PETITION LABOR CAMP ROAD BE CHANGED TO N. FARMWAY ROAD.

Name

Address

Those did not sign

22689 Kenneth Dykes - did not sign

24427

Did not sign

24455

D.N.S. related to this house

24594

GRAYS

24877

PAT

~~22689~~ 22430

No esta en Casa

2nd visit

Rogelia Pasiona

2nd visit

24731

VACANT

24813

24815

JACKSON did not answer

24595

VACANT

24304

2

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Name

Address

Did not sign

Kenneth Dykes

22689 Labor Camp Rd.

?

24427 " "

?

24405 " "

Mr Gray

24594 " "

Juventino Paz

22430 " "

Couldn't be located

24731 Labor Camp Rd

24813 " "

24815 " "

Mr Jackson

24595 " "

24304 " "



P E T I T I O N

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Name

Address

Disagree with Road name Change.

Helen Gexiel 28243 Labor Camp Rd.

Carl R. Bantz 28969 " " "

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<u>Name</u>	<u>Address</u>
Suzanne Stewart	24673 Labor Camp Rd.
B Ann Johnson	24702 Labor Camp Rd
Wale Hickson	24682 Labor Camp Rd.
Kathy Renhoff & Mike Palmer	24627 Labor Camp Rd.
Beta Clark	24535 Labor Camp Rd.
John T. Lantieri	24525 Labor Camp Rd.
Don Eubanks	24532 Labor Camp Rd.
Vonda Meredith	24446 Labor Camp Rd.
Debbie Clappitt	24472 Labor Camp Rd
Shirley Geager	24230 Labor Camp Rd
Barbara Geager	24212 Labor Camp Rd
Wendy Bond's	24200 Labor Camp Rd.
Bud St. Jeor	23586 Labor Camp Road
Jay Reynolds	23015 Labor Camp Road.
Ed Tarp	22841 Labor Camp Rd.
Harry Whens	22659 Labor Camp Rd

P E T I T I O N

yes 11-16-91

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Name

Address

Tom Smith

22715 Labor Camp Rd.

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Name	Address
Sharon L. Brown	26512 Labor Camp Rd. Calif.
Paul Brown	26512 Labor Camp Rd. Calif.
Tim Van Zant	26755 Labor Camp Rd. Caldwell, ID
Chris Van Zant	26755 Labor Camp Rd. Caldwell ID
Dandy Meese	16014 Courtson Rd. Caldwell <sup>Corner of</sup> Labor Camp
Barry Van Zant	26911 Labor Camp Rd. Caldwell ID
Bill Van Zant	26911 Labor Camp Rd. Caldwell ID
Kathy Green	27215 Labor Camp Rd. Caldwell ID
Cliff Wilk	28117 Labor Camp Rd. Caldwell
Terry Reilly	28265 " " " "
Steve Adams	28441 " " " "
Lynna Hunter	28439 " " " "
Jack Blake	28816 " " " "
Barry Despain	29343 " " " "
Don B. Despain	29343 " " " "
Chris Mith	29881 " " " "

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# P E T I T I O N

WE DO HEREBELOW PETITION THE CANYON COUNTY COMMISSIONERS FOR A ROAD NAME CHANGE. THE LABOR CAMP ROAD DERIVED IT'S NAME FROM THE LABOR CAMP. WITH PLANS FOR NEW CONSTRUCTION AT THE LABOR CAMP WELL UNDERWAY IT'S TIME FOR A NEW BEGINNING REPLACING BOTH THE ROAD AND THE CAMP NAME WITH SOMETHING MORE APPROPRIATE. SINCE THE PRESENT LABOR CAMP ROAD IS A CONTINUATION OF FARMWAY ROAD ON THE SOUTH OF CALDWELL WE PETITION LABOR CAMP ROAD BE CHANGED TO N. FARMWAY ROAD.

1/20/92 "agree to the name change"

Name

Address

- ① Pam Freeman 27406 Labor Camp Rd Caldwell
- ② Emery Brindel 26539 Labor Camp Rd.
- ③ Mr. Frank Ford 28439 Labor Camp Rd
- ④ Mike Gielhaus 28614 Labor Camp Rd.
- ⑤ Debi Petersen 28403 Labor Camp rd.
- ⑥ Jalpe & West 29158 Larson Camp Rd
- ⑦ Beth Dargun 29484 Labor-Camp Rd.
- ⑧
- ⑨
- ⑩



15435 HIGHWAY 44  
CALDWELL, IDAHO 83605

TELEPHONE 208/454-8135  
FAX # 208/454-2008

Jerry Jones  
Canyon Co. Planning & Zoning  
1115 Albany  
Caldwell, ID 83605

December 17, 1991

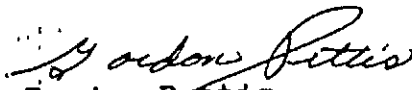
Dear Jerry:

Canyon Highway District No. 4 is not in favor of changing the Labor Camp Road name. The reasons are several and varied. The name has been in place for many years. Part of it, from Hwy. 20 - 26 North to Purple Sage Road, is in the Notus-Parma Highway District. Going North there is a one-mile gap, then Labor Camp Road starts again in our District. It runs North from there for four miles to the county line of Gem and Payette Counties. Labor Camp Road extends on North, and, so named, separates Gem and Payette Counties.

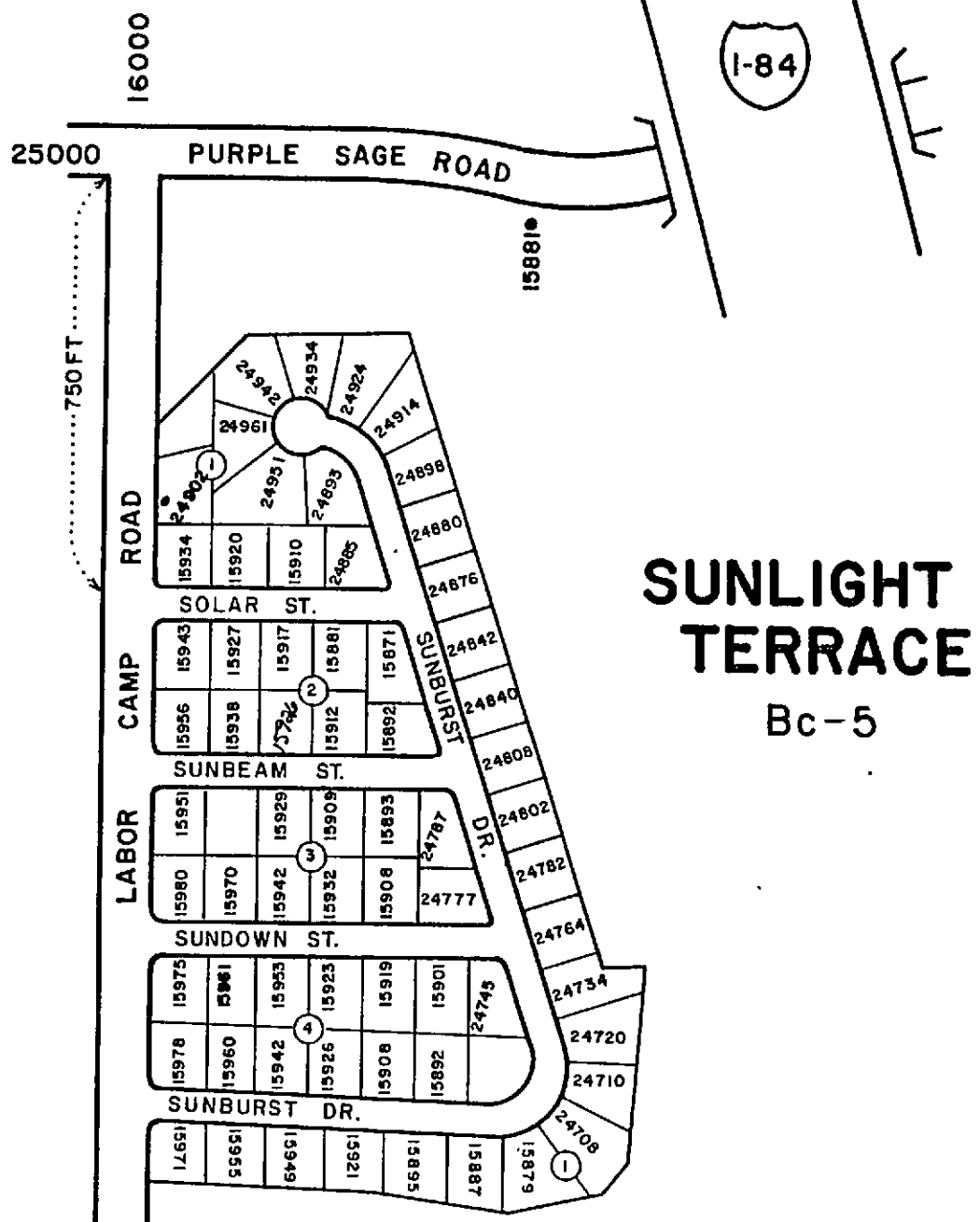
To change it now requires that everyone living along this road must change their address. Because of name changes, we have never officially accepted our District maps. We are having the map upgraded at this time and it would require further changes. We have heard that the name would change to Farmway Road. That road was previously called Marsing Blvd. If it must be changed, it would save much confusion to designate South Farmway and North Farmway Roads, divided at the Boise River. We then create a whole new batch of signs - North and South - and at whose expense?

We very simply do not agree that the road name be changed; this is the consensus of the Highway Commissioners of this District.

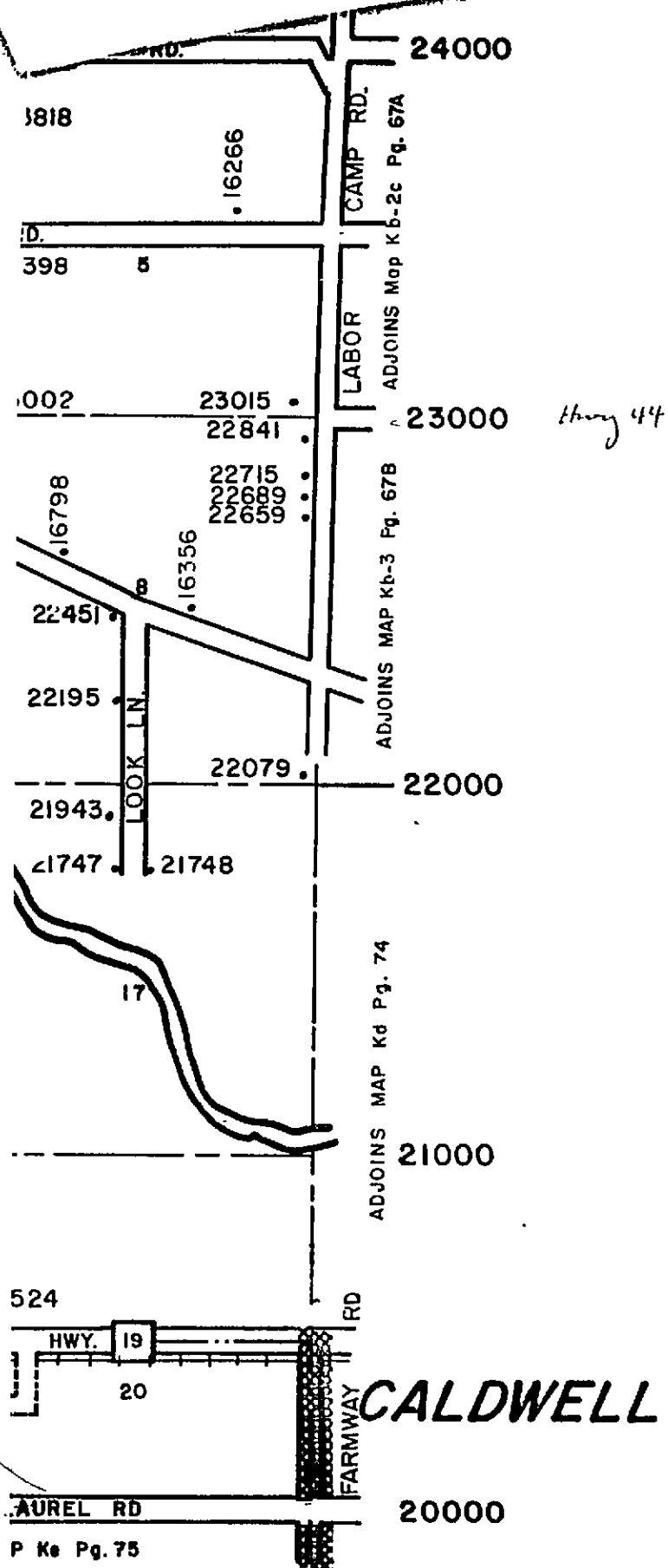
Sincerely,

  
Gordon Pettis  
Work Director

GP:cf

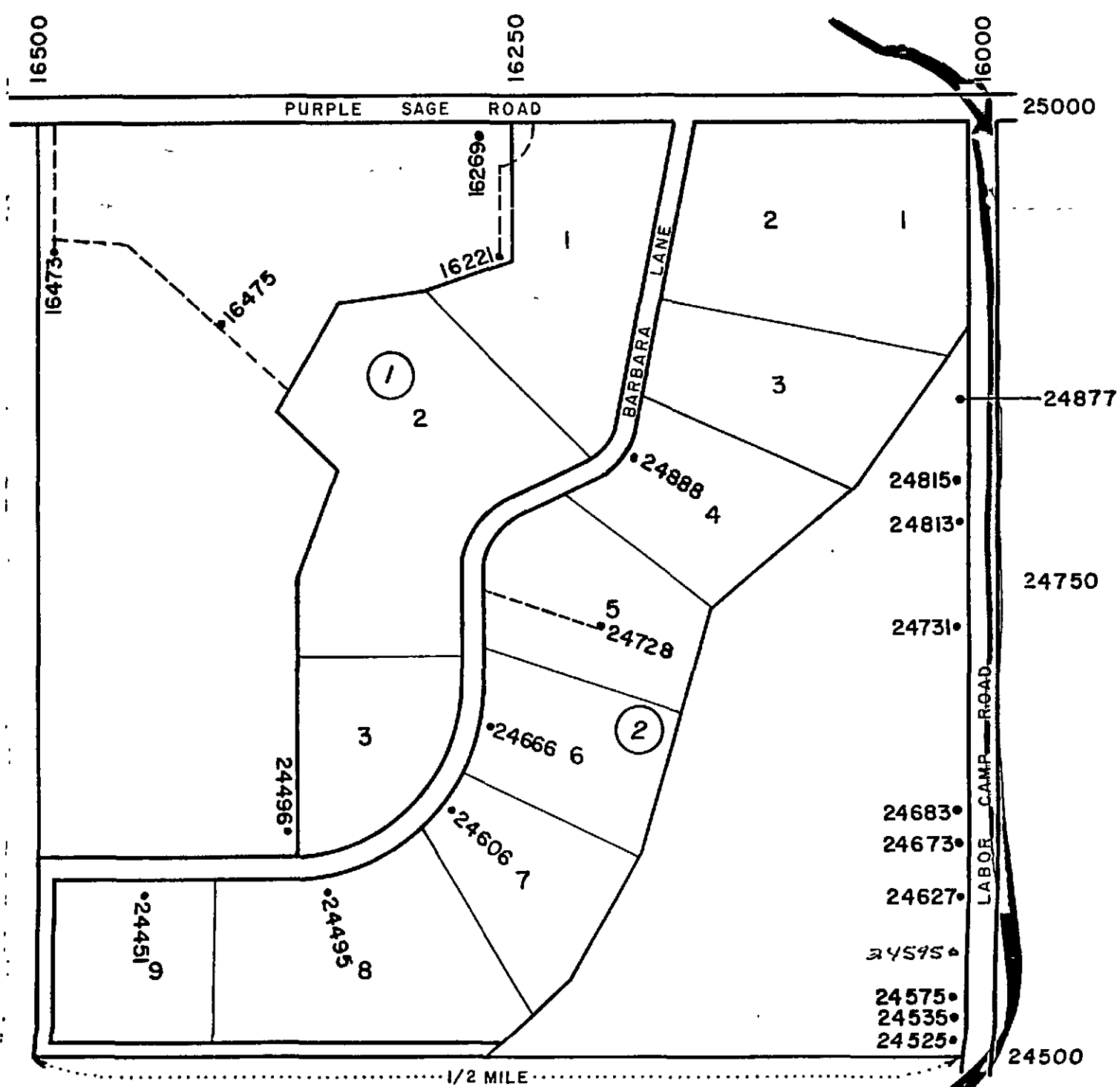






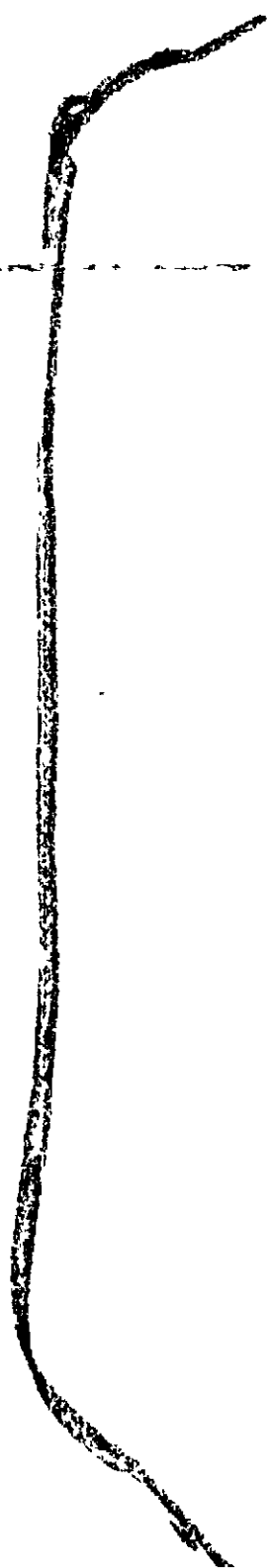






COUNTRY HILL ESTATES

P17





# MATERIALS TESTING CORPORATION

June 5, 1992  
Page # 1 of 1  
Report # B92126-005

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Mr. Stan Janes

Re: In-Place Density Test Results performed on 06-04-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

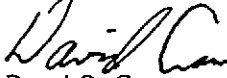
Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	Building #3 footing subgrade, 15' South, 20' West of the Northeast corner	9.2	90.2	A	95
2	Building #3 footing subgrade, 15' South, 2' West of the Northeast corner.	7.9	91.6	A	96
3	Building #3 footing subgrade, 41' West, 15' South of the Northeast corner.	10.8	87.2	A	93
4	Retest building #1, 9' South of the Northwest corner.	13.3	87.4	A	92
5	Retest building #1, 36' South of the Northwest corner	13.3	84.4	A	89
6	Retest building #1, 18' East of the Southwest corner.	14.6	84.1	A	88

Required Compaction: 95%

Material Type: A: 94.9 @ 19.7%, On Site Fill

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
David O. Cram  
Division Manager



June 5, 1992  
Page # 1 of 1  
Report # B92126-004

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Marvin H. Meyer, Jr.

Re: Daily Inspection Report performed on 06-02-92  
Caldwell Farm Labor Housing  
Terry Taylor, Inspector

Gentlemen:

MTC Inspector arrived on site for in place density tests on native subgrade in footing trench for building #1. Tests taken on May 1, 1992 failed. Approximately twenty tests were taken in building #1 footing trench with results ranging from 78% to 91%. All tests taken failed. Project superintendent was informed of results. He stated he would contact his superiors for a solution to the problem.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

A handwritten signature in black ink, appearing to read "David O. Cram".

David O. Cram  
Division Manager



June 5, 1992  
Page # 1 of 1  
Report # B92126-003

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Marvin H. Meyer, Jr.

Re: In-Place Density Test Results performed on 06-01-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

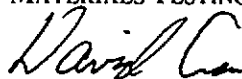
Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	North building, 10' South of the Northwest corner, footing subgrade	26.1	83.6	A	88
2	North building 40' South of the Northwest corner, footing subgrade.	31.0	81.7	A	86
3	North building 10' East of the Southwest corner, footing subgrade.	26.9	81.7	A	86
4	South building 20' West of the Northeast corner, footing subgrade	19.0	83.4	A	92
5	South building 10' North of the Southeast corner, footing subgrade	14.2	89.7	A	99
6	South building, 6' West of the Southeast corner, footing subgrade.	12.4	90.5	A	100

Required Compaction: 95%

Material Type: A: 94.9 @ 19.7%, On Site Fill

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
David O. Cram  
Division Manager





June 6, 1992  
Page # 1 of 1  
Report # B92126-002

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Mr. Stan Janes

Re: In-Place Density Test Results performed on 05-28-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

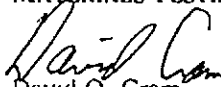
Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	Footing subgrade, 70' East of the Southwest corner of the Southwest building.	21.5	75.9	A	80
2	Footing subgrade, 30' North of the Southwest corner of the Southwest building.	14.5	89.1	A	94

Required Compaction: 95%

Material Type: A: 94.9@ 19.7%, On Site Fill

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
David O. Cram  
Division Manager



# MATERIALS TESTING CORPORATION

JUN 10 1992

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUN 6, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-006	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	13
Mix ID:	#101-1	Ticket #:	92735
# Of Yards:	7	Inspector:	Dave Cram

Pour Location: Building #3 footings. 20' West of the Northeast corner.

☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement Fly Ash Water Not Coarse Agg #1 Reported Coarse Agg #2 W Fine Agg #1 The Fine Agg #2 Ready Admix #1 Mix Admix #2 Company Admix #3 Water/Cement Ratio:	Weather Sunny Ambient Temperature: 67 Concrete Temp. (ASTM C 1064): 71 Time Batched: Not Reported Time Placed 9.00am % Air Content (ASTM C 231): 5.0 Slump (Inches) (ASTM C 143): 2.25 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified P <sub>c</sub> (psi): 3000

Cast Date: Jun 5 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
4753	6	12	2827	7	Jun 12, 92			
4754	6	12	2827	28	Jul 3, 92			
4755	6	12	2827	28	Jul 3, 92			
4756	6	12	2827	28	Jul 3, 92			

Remarks: Concrete placed by chute and mechanically vibrated to consolidation

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

*David O. Cram*

DAVID O. CRAM  
DIVISION MANAGER

# PROPOSAL REQUEST

AIA DOCUMENT G709

OWNER  
ARCHITECT  
CONTRACTOR  
FIELD  
OTHER

☐  
☐  
☒  
☐  
☐

PROJECT: FARM LABOR HOUSING  
(name, address) FARMWAY VILLAGE  
CALDWELL, IDAHO

PROPOSAL REQUEST NO: TWO

OWNER: CALDWELL HOUSING AUTHORITY

DATE: JUNE 10, 1992

TO: (Contractor)

STAN JANES  
THE RUSSELL CORP.

ARCHITECT'S PROJECT NO.

CONTRACT FOR:

CONTRACT DATED.

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description: (Written description of the Work)

PLEASE PREPARE A PROPOSAL TO CHANGE ALL RESILIENT FLOORING TO ARMSTRONG "SUCCESSOR" INSTALLATION TO BE BY "INTERFLEX" SYSTEM. OVER PARTICLEBOARD, VINYL TO BE PERIMETER STAPLED AT 3" O.C. WITH 1/2" STAPLES. OVER CONCRETE SLAB, VINYL TO BE PERIMETER GLUED USING FACTORY-APPROVED ADHESIVE.

Attachments: (List attached documents that support description)

ARCHITECT: CROWDER ASSOCIATES

BY:





# MATERIALS TESTING CORPORATION

JUL 17 1992

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUL 15, 1992	PROJECT:	CALDWELL FARM LABOR HOUSING
CLIENT:	RUSSEL CORPORATION	CONTRACTOR:	QUALITY CONCRETE
FILE #:	B92164-015	SUPPLIER:	G & B REDI MIX
Permit #:	Not Reported	Truck #:	#7
Mix ID:	101-1	Ticket #:	94099
# Of Yards:	10	Inspector:	Greg Skipper

Pour Location: Building #1, first building on the southwest side, building 1B.


☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Provided Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Clear Ambient Temperature: 58 Concrete Temp. (ASTM C 1064): 75 Time Batched: 6:30 Time Placed: 7.03 % Air Content (ASTM C 231): 4.5 Slump (Inches) (ASTM C 143) : 2.75 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): 10 Specified f'c (psi): 3000

Cast Date: Jul 7, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
5059	6	12	2827	7	Jul 14, 92	98,000	3470	Cone
5060	6	12	2827	28	Aug 4, 92			
5061	6	12	2827	28	Aug 4, 92			
5062	6	12	2827	28	Aug 4, 92			

Remarks: Placed on wire mesh, slab on grade.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER



# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUL 15, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-011	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	11
Mix ID:	101-1	Ticket #:	93125
# Of Yards:	13	Inspector:	Terry Taylor

Pour Location: Footings for building #1.

☒ Concrete Cylinders

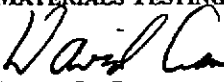
☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Reported Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Rain Ambient Temperature: 62 Concrete Temp. (ASTM C 1064): 59 Time Batched: 9:00 Time Placed: 9:45 % Air Content (ASTM C 231): 5.4 Slump (Inches) (ASTM C 143) : 3.0 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified f'c (psi): 2500

Cast Date: Jun 15, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
4841	6	12	28.27	7	Jun 22, 92	90,000	3180	Cone
4842	6	12	28.27	28	Jul 13, 92	122,000	4310	Cone
4843	6	12	28.27	28	Jul 13, 92	130,000	4600	Cone
4844	6	12	28.27	28	Jul 13, 92	126,000	4460	Cone

Remarks: All concrete placed by chute and mechanically vibrated to consolidated.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER

## WHITE ENGINEERS

1707 LINDA VISTA LANE

BOISE, IDAHO 83704

(208)375-3581

PROJECT: Farmway Housing  
Caldwell, Idaho  
CONTRACT: Mechanical

FIELD REPORT NO:

PROJECT NO:

DATE	8/3/92	TIME	WEATHER	TEMP. RANGE
EST. % OF COMPLETION	CONFORMANCE WITH SCHEDULE(+, -)			
WORK IN PROGRESS	PRESENT AT SITE		White	
			Crowder	

## OBSERVATIONS

1. Underslab plumbing rough-in is essentially complete in most all of the units in the A and B complexes.
2. Connection of washer boxes and showers has been completed in some of the units.
3. Utility work is progressing in Complex A and B.
4. Utility work is essentially complete as far as underground work is concerned in Complex B.
5. The plumbing contractor is cautioned to be very thorough in applying the insulation over the overhead water piping in the single story units. All piping must completely covered prior to installation of the loose-fill insulation on the building itself. Each building installation will be checked by our office prior to application of building insulation.
6. Underslab plumbing rough-in is essentially complete in the office laundry facility.
7. In accordance with the State Plumbing Board inspection, we will allow the hose bibbs to be used for draining the water piping in the buildings and the stop and waste valve will be deleted and replaced with a stop valve.\* This has been done in most all of the units. The piping shall



August 7, 1992  
Page # 1 of 1  
Report # B92126-018

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

AUG 11 1992

Attention: Stan Janes

Re: Daily Inspection Report performed on 08-06-92  
Caldwell Farm Labor Housing  
Kevin Sagez, Inspector

Gentlemen:

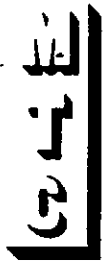
MTC Technician left the office at 6:50am and arrived onsite at 7:15am. MTC Technician picked up cylinders cast on August 4, 1992. Overnight curing temperatures were recorded at 89 F max. and 60 F min. The Technician then returned to the lab to place cylinders in the curing room.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

A handwritten signature in black ink, appearing to read "David O. Cram".

David O. Cram  
Division Manager



# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	AUG 7, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-017	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	17
Mix ID:	#101-1	Ticket #:	95164
# Of Yards:	8	Inspector:	Kevin Sagez

Pour Location: Slab on grade new office.

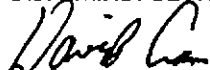
☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: .Not Coarse Agg. #1: Reported Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 74 Concrete Temp. (ASTM C 1064): 78 Time Batched: Not Reported Time Placed: 8:10 % Air Content (ASTM C 231): 5.25 Slump (Inches) (ASTM C 143): 4.0 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): 5.0 Specified f'c (psi): 3000

Cast Date:		Aug 4, 92						
# of Cylinders:		4						
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
5282	6	12	2827	7	Aug 11, 92			
5283	6	12	2827	28	Sep 1, 92			
5284	6	12	2827	28	Sep 1, 92			
5285	6	12	2827	28	Sep 1, 92			

Remarks: Concrete was placed from truck chute to slab surface, jitterbugged and hand finished. Wire mat was raised to proper position with a claw.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER





August 7, 1992  
Page # 1 of 1

RAY CROWDER  
CROWDER AND ASSOCIATES  
2995 North Cole Road  
Boise, Idaho 83704

AUG 10 1992

Re: Farm Labor Housing and Lead Based Paint

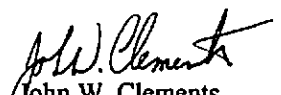
Dear Ray:

We have collected some pricing and turn around data for your review. The bad news is that the whole process will take some time. We can actually get better turn around times from laboratories outside the state. The following is a break down of the prices and turn around times.

Test Method	Number Of Test	Price Per Test	SubTotal	Turn Around Time	Price For Rush	SubTotal	Rush Turn Around Time
Flame AA Lead Analysis (Level II)	2	\$21.60	\$43.20	3 Days	\$24.00	\$48.00	1 Day
Toxic Characteristic Leaching Procedure (TCLP) Method 1311	2	\$132.00	\$264.00	15 Days	\$198.00	\$396.00	5 Days
Technician Hourly Rate	3	\$30.00	\$90.00			\$90.00	
Shipping	1	\$15.00	\$15.00			\$15.00	
Totals			\$412.20			\$549.00	

Please inform us of which turn around time you wish. MTC can collect these samples immediately upon your acceptance of the above. If MTC can be of any further assistance, please do not hesitate to call us at (208) 376-4748 or 1 (800) 743-9547.

Respectfully submitted,  
MATERIALS TESTING CORPORATION

  
John W. Clements  
Environmental Services



# MATERIALS TESTING CORPORATION

## CONCRETE <sup>AUG 06 1992</sup> COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	AUG 4, 1992	PROJECT:	CALDWELL FARM LABOR HOUSING
CLIENT:	RUSSEL CORPORATION	CONTRACTOR:	QUALITY CONCRETE
FILE #:	B92164-015	SUPPLIER:	G & B REDI MIX
Permit #:	Not Reported	Truck #:	#7
Mix ID:	101-1	Ticket #:	94099
# Of Yards:	10	Inspector:	Greg Skipper

Pour Location: Building #1, first building on the southwest side, building 1B.

☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Provided Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Clear Ambient Temperature: 58 Concrete Temp. (ASTM C 1064): 75 Time Batched: 6:30 Time Placed: 7:03 % Air Content (ASTM C 231): 4.5 Slump (Inches) (ASTM C 143): 2.75 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): 10 Specified f'c (psi): 3000

Cast Date: Jul 7, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
5059	6	12	28.27	7	Jul 14, 92	98,000	3470	Cone
5060	6	12	28.27	28	Aug 4, 92	130,000	4600	Cone
5061	6	12	28.27	28	Aug 4, 92	128,500	4540	Cone
5062	6	12	28.27	28	Aug 4, 92	128,500	4540	Cone

Remarks: Placed on wire mesh, slab on grade.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

DAVID O. CRAM  
DIVISION MANAGER



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: MAY 22, 1992  
TIME: 7:30 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 65-70 DEGREES  
PRESENT ON SITE: STAN JANES, EQUIPMENT OPERATOR, TWO WORKERS

WORK IN PROGRESS: SITE HAS BEEN GRUBBED AND CLEARED AT COMPLEX "A" AND "B". STAKING IS UNDERWAY ON COMPLEX "B". FENCES AND OTHER OBSTRUCTIONS ARE BEING REMOVED AT TIME OF ARCHITECT'S VISIT. CONSTRUCTION OFFICE IS BEING SET. TELEPHONE IS TO BE CONNECTED LATER TODAY.

OBSERVATIONS: SITE WAS PARTIALLY FLOODED DURING RECENT WORK ON WATER TOWER. SEE ATTACHED LETTER FROM CONTRACTOR. A CHANGE ORDER IS BEING PREPARED WHICH WILL ADDRESS THIS PROBLEM. IT APPEARS AT THIS TIME THAT THE SITE IS DRYING MORE RAPIDLY THAN EARLIER EXPECTED.

CHANGE ORDER PROPOSAL NO. ONE WAS DISCUSSED ON-SITE WITH STAN JANES. ALTHOUGH NOTHING HAS BEEN FINALIZED AT TIME OF ARCHITECT'S VISIT, IT APPEARS LIKELY THAT THE OWNER WILL REJECT THE SUBSTITUTION OF OSB FOR PLYWOOD; AND THAT PROPOSED TILING OF SMALL DITCH IS STILL BEING CONSIDERED.

FUTURE CHANGE ORDERS MAY ADDRESS THE FOLLOWING:

ADD TEMPERED GLASS TO 24 WINDOWS WHICH ARE LOCATED IMMEDIATELY ADJACENT TO ENTRY DOORS.

REPAIR DETERIORATING CONCRETE AT EXISTING MASONRY APARTMENTS.

MODIFY PIPING MATERIAL FOR LARGE DIAMETER WATER LINES.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

# PROPOSAL REQUEST

AIA DOCUMENT G709

OWNER  
ARCHITECT  
CONTRACTOR  
FIELD  
OTHER

☒  
☐  
☐  
☐  
☐

PROJECT:  
(name, address) FARM LABOR HOUSING  
FARMWAY  
CALDWELL, IDAHO

PROPOSAL REQUEST NO: ONE

OWNER:  
CALDWELL HOUSING AUTHORITY

DATE: JUNE 9, 1992

TO: (Contractor)

STAN JAMES  
THE RUSSELL CORPORATION

ARCHITECT'S PROJECT NO:

CONTRACT FOR:

CONTRACT DATED:

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN.

Description: (Written description of the Work)

PLEASE PREPARE PROPOSAL FOR CHANGES INDICATED ON ATTACHED DRAWING X-1 WITH REVISED  
DETAIL 1/A-3

THIS DETAIL WILL APPLY FOR ALL TYPICAL FOOTING/FOUNDATION CONSTRUCTION FOR THE  
REFERENCED PROJECT.

Attachments: (List attached documents that support description)

SHEET X-1 REVISED DETAIL 1/A-3 AS PREPARED BY SMITH & KANGAS ENGINEERS, INC.

ARCHITECT:

CROWDER ASSOCIATES

BY:

PROPOSAL  
REQUEST

AIA DOCUMENT G709

OWNER ☐  
ARCHITECT ☐  
CONTRACTOR ☒  
FIELD ☐  
OTHER ☐

PROJECT: FARM LABOR HOUSING  
(name, address) FARMWAY VILLAGE  
CALDWELL, IDAHO

PROPOSAL REQUEST NO: TWO

OWNER. CALDWELL HOUSING AUTHORITY

DATE: JUNE 10, 1992

TO (Contractor)

STAN JANES  
THE RUSSELL CORP.

ARCHITECT'S PROJECT NO

CONTRACT FOR:

CONTRACT DATED:

Please submit an itemized quotation for changes in the Contract Sum and/or Time incidental to proposed modifications to the Contract Documents described herein.

THIS IS NOT A CHANGE ORDER NOR A DIRECTION TO PROCEED WITH THE WORK DESCRIBED HEREIN

Description (Written description of the Work)

PLEASE PREPARE A PROPOSAL TO CHANGE ALL RESILIENT FLOORING TO ARMSTRONG "SUCCESSOR" INSTALLATION TO BE BY "INTERFLEX" SYSTEM. OVER PARTICLEBOARD, VINYL TO BE PERIMETER STAPLED AT 3" O.C. WITH 1/2" STAPLES. OVER CONCRETE SLAB, VINYL TO BE PERIMETER GLUED USING FACTORY-APPROVED ADHESIVE.

Attachments. (List attached documents that support description)

ARCHITECT CROWDER ASSOCIATES

BY-



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: SEVEN

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JUNE 18, 1992

TIME: 1:00P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 85+ DEGREES

PRESENT ON SITE: GARY HAYNE, FRED MARKER  
STAN JANES, TED PARROTT  
TWO EQUIPMENT OPERATORS (backhoe)  
TEN WORKERS (concrete placers & finishers,  
plumbers)

WORK IN PROGRESS: BLDG. B-1 FORMS IN PLACE FOR ONE-HALF OF  
FOUNDATION WALL  
BLDG. B-2 READY FOR FLOOR SLAB TO BE POURED;  
UNDERSLAB PLUMBING IN PLACE AND INSPECTED;  
PERIMETER INSULATION IN PLACE; EXPANSION  
JOINT IN PLACE; THICKENED SLAB PREPARED;  
VAPOR BARRIER AND WIRE MESH IN PLACE.  
BLDG. B-3 BACKFILLED; UNDERSLAB PLUMBING IN  
PROGRESS  
BLDG. B-4 FOUNDATION WALL POURED; READY FOR  
BACKFILL  
BLDG. B-5 FOUNDATIONS POURED.

BLDG A-2 FOOTINGS EXCAVATED  
BLDG A-3 FOOTINGS EXCAVATED  
BLDG A-4 FOOTING FORMED  
BLDG A-5 FOOTINGS POURED

SITEWORK - FENCES ERECTED AT LAGOON AND  
WATER TOWER.

OBSERVATIONS: BUILDING FOOTINGS/FOUNDATIONS ARE BEING  
CONSTRUCTED AS INDICATED ON SHEET X-1, REVISED DETAIL 1/A-3 WHICH  
IS NOW BEING PROCESSED FOR INCLUSION IN A CHANGE ORDER.

NEW EXCAVATION IS CONTINUING USING TOOTHLESS BUCKET AS  
RECOMMENDED BY STRUCTURAL ENGINEER. SOIL IS NOT TO BE COMPACTED  
USED WHACKER OR SIMILAR COMPACTING SYSTEM.

ROUGH FRAMING MATERIALS ARE STORED ON-SITE. CONTRACTOR TO PROVIDE  
PROTECTION FROM WEATHER


INSPECTION NO SEVEN  
JUNE 18, 1992  
PAGE 2

CONTRACTOR TO ASSURE THAT STEEL REINFORCEMENT AND WIRE MESH ARE LOCATED APPROPRIATELY WITHIN CONCRETE POURS. ASSURE THAT MESH IS PULLED UP INTO SLAB; AND THAT REINFORCING BAR IS NOT LOCATED EXCESSIVELY CLOSE TO EDGE OF FOUNDATION WALLS.

CONTRACTOR'S SECOND APPLICATION FOR PAYMENT IS EXPECTED EARLY NEXT WEEK. DRAW INSPECTION WILL BE SCHEDULED FOR LATE NEXT WEEK.

HAYNE, MARKER, JANES, PARROTT, AND CROWDER INSPECTED EXISTING MASONRY BUILDINGS TO ASSESS EXISTING ROOF CONDITIONS. SEVERAL OPTIONS FOR CORRECTION OF ROOF DETERIORATION WILL BE CONSIDERED.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be "Raymond" followed by a stylized surname, written over the distribution list.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWO  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: MAY 29, 1992  
TIME: 1:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 80+ DEGREES  
PRESENT ON SITE: STAN JANES  
MISCELLANEOUS VISITORS (GROUND BREAKING)  
JOE DALTON, FRED MARKER, DON DOWNEN & OTHERS

WORK IN PROGRESS: REVIEWED PROGRESS WITH STAN JANES. EXCAVATION COMPLETE ON 1 1/2 BUILDINGS. WATER ADDED IN SOME FOOTING TRENCHES TO IMPROVE SOIL CONDITIONS.

OBSERVATIONS: FLOODED SITE AREAS CONTINUE TO DRY ACCEPTABLY. CHANGE ORDER NO. ONE, ADDING CORRUGATED METAL PIPE TO TILE EXISTING SURFACE DRAINAGE DITCH WAS APPROVED. CONTRACTOR'S FIRST APPLICATION FOR PAYMENT WAS REVIEWED; APPROVAL WAS DEFERRED UNTIL ARCHITECT IS ABLE TO INSPECT ELECTRICAL MATERIALS STORED ON-SITE.

SOIL IN EXCAVATED AREAS IS VERY POWDERY AND DRY. CONTRACTOR IS TESTING SOIL BEARING CAPACITY. FOOTING DESIGN IS BASED UPON MINIMUM 1500 PSI SOIL BEARING.

CONDITION OF PRE-CAST CONCRETE TEES (ROOF) OF EXISTING MASONRY APARTMENTS WAS INVESTIGATED. ARCHITECT WILL HAVE STRUCTURAL ENGINEER INSPECT CONDITIONS; SUGGEST IMPROVEMENTS TO ASSURE SAFETY AND TO EXTEND LIFE OF EXISTING BUILDINGS. IT IS LIKELY THAT A PORTION OF EXISTING ROOF WILL HAVE TO BE REMOVED TO FACILITATE THOROUGH INVESTIGATION OF EXTENT OF DETERIORATION OF EXISTING MATERIALS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR





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FAX (208) 322-5886

INSPECTION NO.: THREE  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: JUNE 1, 1992  
TIME: 1:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 80+ DEGREES  
PRESENT ON SITE: TED  
JERRY WHITE (MECHANICAL ENGINEER)  
EQUIPMENT OPERATOR (BACKHOE)  
MISCELLANEOUS WORKERS  
SURVEYOR

WORK IN PROGRESS: EXCAVATION IS CONTINUING AT COMPLEX "B".  
EXCAVATION COMPLETE ON 2 1/2 BUILDINGS. SOIL CONDITIONS APPEAR  
IMPROVED AT ALL BUILDINGS. BEARING ANALYSIS IS CONTINUING.

OBSERVATIONS: CONTRACTOR'S FIRST APPLICATION FOR PAYMENT WAS  
REVIEWED AND RECOMMENDED FOR PAYMENT. ARCHITECT REVIEWED  
MATERIALS STORED ON SITE. FUTURE DRAWS FOR MATERIALS STORED ON-  
SITE ARE TO BE PRIOR-INSPECTED BY CONSTRUCTION SUPERINTENDANT.

MECHANICAL ENGINEER REVIEWED WITH SUPERINTENDANT THE REQUIREMENTS  
FOR DEPTH/COVER/SLOPE OF SEWER LINES. SUPERINTENDANT GIVEN  
REVISED SITE UTILITY PLAN WITH CHANGES AS REQUIRED BY DIVISION OF  
ENVIRONMENTAL QUALITY. ADDITIONAL COPIES ARE TO BE TRANSMITTED TO  
STAN JANES BY SUPER. FOR REVIEW. A CHANGE ORDER OR ARCHITECT'S  
FIELD ORDER WILL BE ISSUED AS APPROPRIATE TO FORMALIZE REQUIRED  
CHANGES.

CONDITION OF PRE-CAST CONCRETE TEES (ROOF) OF EXISTING MASONRY  
APARTMENTS WILL BE INSPECTED BY STRUCTURAL ENGINEER WITHIN THE  
NEXT WEEK.

CONSTRUCTION SITE PHONE: 459-9489  
CONSTRUCTION SITE FAX: 459-9650

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: FOUR

PROJECT: ~~CALDWELL HOUSING~~ AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JUNE 5, 1992

TIME: 12:30 P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 80+ DEGREES

PRESENT ON SITE: FOUR WORKERS

ONE EQUIPMENT OPERATOR (backhoe)

WORK IN PROGRESS: EXCAVATION IS CONTINUING AT COMPLEX "B".

BUILDING B-1: WAITING SOIL CONDITIONS REVIEW BY STRUCTURAL ENGR.

BUILDING B-2: FOOTING POURED; HORIZONTAL & VERTICAL STEEL IN  
PLACE FOR FOUNDATIONS

BUILDING B-3: FOOTING POURED; VERTICAL STEEL IN PLACE AS REQ'D;  
HORIZONTAL STEEL NOT YET IN PLACE

BUILDING B-4: EXCAVATED

BUILDING B-5: EXCAVATED

OBSERVATIONS: SOIL CONDITIONS ARE GENERALLY ACCEPTABLE, BUT  
REMAIN SUSPECT IN SOME AREAS. STRUCTURAL ENGINEER RALPH KANGAS  
WILL REVIEW SOIL CONDITIONS ON MONDAY, 6/8/92. ARCHITECT,  
ENGINEER, CONTRACTOR, AND DAVE LINDEN WILL ALSO INSPECT EXISTING  
MANSONRY BUILDINGS AT THE SAME TIME.

ATTACHMENTS: LISTING OF MAJOR SUBCONTRACTORS AND SUPPLIERS.  
SITE PLAN IDENTIFYING BUILDING NUMBER FOR INSPECTION  
PURPOSES.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



**THE RUSSELL CORPORATION** Construction Management / General Construction  
8150 Emerald Street, Suite 100  
Boise, ID 83704 (208) 323-0777

FARM LABOR HOUSING PROJECT

SUBCONTRACTOR LISTING

<u>SUBCONTRACTOR</u>	<u>TRADE</u>	<u>PUBLIC WORKS LICENSE NUMBER</u>
CASCADE FENCE 4560 S. Orchard Boise, ID 83705 Gary Wingett (208) 345-1530	Fencing	4527-AA (7,16, 17,22,46)
COLORS PAINTING P.O. Box 2019 Boise, ID 83702 Arnell Jones (208) 336-1809	Painting	2781-4-B-(31)
CREATIVE DESIGN, INC. 1522 River Street Boise, ID 83702 Keith Harden (208) 336-3115	Window Treatment	1223-C-4
GILLINGHAM CONSTRUCTION 6560 W. Targee Street Boise, ID 83715 Larry Gillingham (208) 362-9440	Demolition	6248-AAA-1-2-3
INTERMOUNTAIN WEST 7415 Mossy Cup Boise, ID 83709 Marv Ward (208) 362-5343	Insulation	1734-C-4-(24)
JSC FRAMERS/OLSEN CONSRUCTION Box 9146 Nampa, ID 83642 Jerel Bowen (208) 467-5680	Rough Carpentry	6276-AAA-3

Subcontractor Listing  
Page 2

NAMPA PAVING & ASPHALT CO. 444 W. Karcher Road Nampa, ID 83687 Dave Robinson (208) 466-4051	Site Work	5560-AA-1-2
PARAGON PLUMBING 9045 McMillan Road Boise, ID 83704 Bob Albrecht (208) 378-1082	Site Utilities Plumbing	2285-B-4-(33,46)
PIONEER FLOORS & INTERIORS 917 Main Buhl, ID 83316 Alden Palmer (208) 543-8848	Resilient Flooring	496-AA-4-(19, 31,41,92)
OVERHEAD DOOR COMPANY 621 Allumbaugh Boise, ID 83704 Peg Cook (208) 375-0137	Doors	3587-A-4-(47)
QUALITY CONCRETE P.O. Box 7245 Boise, ID 83707 Jeff Tiddy (208) 344-4776	Site Concrete	3346-A-4-(9,16)
SMITH ELECTRIC 7766 W. Lemhi Boise, ID 83704 George Smith (208) 375-7334	Electrical	4372-AA-4-(14)
WESTERN HEATING AND AIR CONDITIONING 4980 Bradley Street Boise, ID 83714 Bob Barnes (208) 375-6101	HVAC	3283-A-4-(2,37)
WESTERN WATERTITE 5446 W. State Street Boise, ID 83703 Dave Stephens (208) 3600	Continuous Gutters	3166-A-4-(35)



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: FIVE

PROJECT: ~~CALDWELL HOUSING~~ AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JUNE 8, 1992

TIME: 12:30 P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 80+ DEGREES

PRESENT ON SITE: STAN JANES

RALPH KANGAS - STRUCT. ENGR.

TED PARROTT

ONE EQUIPMENT OPERATOR (backhoe)

TWO WORKERS

WORK IN PROGRESS: NO CHANGE IN CONDITIONS AT COMPLEX "B".

OBSERVATIONS: SOIL CONDITIONS WERE INSPECTED BY STRUCTURAL ENGINEER. A 10' TEST HOLE WAS DUG NEAR BUILDING B-1. KANGAS DISCUSSED TEST FINDINGS WITH MATERIALS TESTING CORP. ARCHITECT REQUESTED THAT NO ADDITIONAL CONCRETE BE POURED ON SITE UNTIL STRUCT. ENGR. COMPLETES HIS ANALYSIS OF SITE CONDITIONS. KANGAS EXPECTS TO RECOMMEND OPTIONS FOR RESPONDING TO SOIL CONDITIONS BY TOMORROW MORNING.

CONTRACTOR, ENGINEER AND ARCHITECT VISITED EXISTING MASONRY BUILDINGS TO DETERMINE EXTENT OF DETERIORATION OF PRECAST CONCRETE TEES AT THAT PROJECT. AFTER REVIEWING EXISTING CONDITIONS AND OBSERVING EXISTING CONDITIONS IN UNIT 31, IT IS APPARENT THAT MOISTURE DAMAGE INSIDE AND OUTSIDE THE MASONRY BUILDINGS MUST BE STOPPED AND CORRECTED. ARCHITECT INTENDS TO RECOMMEND CORRECTIVE ACTION AT THE FMHA INSPECTION SCHEDULED FOR THURSDAY, JUNE 18, AT 1:00 P.M.

ATTACHMENTS: CONTRACTOR'S SCHEDULE FOR THE PROJECT.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

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FAX (208) 322-5886

INSPECTION NO.: FIVE

PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: JUNE 8, 1992  
TIME: 12:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 80+ DEGREES  
PRESENT ON SITE: STAN JANES  
RALPH KANGAS - STRUCT. ENGR.  
TED PARROTT  
ONE EQUIPMENT OPERATOR (backhoe)  
TWO WORKERS

WORK IN PROGRESS: NO CHANGE IN CONDITIONS AT COMPLEX "B".

OBSERVATIONS: SOIL CONDITIONS WERE INSPECTED BY STRUCTURAL ENGINEER. A 10' TEST HOLE WAS DUG NEAR BUILDING B-1. KANGAS DISCUSSED TEST FINDINGS WITH MATERIALS TESTING CORP. ARCHITECT REQUESTED THAT NO ADDITIONAL CONCRETE BE POURED ON SITE UNTIL STRUCT. ENGR. COMPLETES HIS ANALYSIS OF SITE CONDITIONS. KANGAS EXPECTS TO RECOMMEND OPTIONS FOR RESPONDING TO SOIL CONDITIONS BY TOMORROW MORNING.

CONTRACTOR, ENGINEER AND ARCHITECT VISITED EXISTING MASONRY BUILDINGS TO DETERMINE EXTENT OF DETERIORATION OF PRECAST CONCRETE TEES AT THAT PROJECT. AFTER REVIEWING EXISTING CONDITIONS AND OBSERVING EXISTING CONDITIONS IN UNIT 31, IT IS APPARENT THAT MOISTURE DAMAGE INSIDE AND OUTSIDE THE MASONRY BUILDINGS MUST BE STOPPED AND CORRECTED. ARCHITECT INTENDS TO RECOMMEND CORRECTIVE ACTION AT THE FMHA INSPECTION SCHEDULED FOR THURSDAY, JUNE 18, AT 1:00 P.M.

ATTACHMENTS: CONTRACTOR'S SCHEDULE FOR THE PROJECT.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



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SUMMARY OF DECISIONS MADE BY CALDWELL HOUSING AUTHORITY BOARD  
JUNE 11, 1992

KITCHEN/BATH CABINET                      MERILLAT HORIZON,  
cabinets with woodgrain melamine faces; with epoxy-coated  
side-mounted captive roller drawer system. System consists of a  
pair of epoxy-coated 1.25 mm steel slides that roll on close  
tolerance nylon rollers.

MASONRY APARTMENT EXTERIOR PAINT Existing masonry buildings are to be painted exterior colors conforming to COLOR GUILD ASSOCIATES standard colors:

```
5203M Earthenware
5204D Charlie Brown
4353M Teakwood
4354D Apple Cider
```

Paint to be manufactured by approved manufacturer using paint type as specified. Trim color(s) and door color(s) to be selected by architect. Architect will provide site plan identifying buildings to be painted colors indicated above. MASONRY BUILDINGS ARE NOT TO BE PAINTED UNTIL AFTER A DECISION IS MADE REGARDING CONCRETE AND ROOF REPAIRS.

CONTRACTOR LETTER RE: BUILDING PERMIT COST

Owner is willing to split the additional cost of the permit with the Contractor, subject to agreement of FMHA. This will be processed as a Change Order to obtain necessary review/approval.

CHANGE ORDER NO. TWO:

Approved by the Owner and forwarded to FmHA for review and acceptance.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
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INSPECTION NO.: SIX

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JUNE 11, 1992

TIME: 2:00P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 85+ DEGREES

PRESENT ON SITE: TED PARROTT

ONE EQUIPMENT OPERATOR (backhoe)

TEN WORKERS

WORK IN PROGRESS: BLDG. B-1 BEGINNING TO CONSTRUCT FOOTING  
FORMS

BLDG. B-2 FOUNDATIONS POURED

BLDG. B-3 FOUNDATIONS FORMED; 1/2 POURED

BLDG. B-4 HORIZ. & VERT. STEEL IN PLACE

BLDG. B-5 FOOTINGS POURED

COMPLEX "A" - EXCAVATION UNDERWAY

SITWORK - FENCES BEING ERECTED AT LAGOON AND  
WATER TOWER.

OBSERVATIONS: CONCRETE FOUNDATIONS AT BUILDINGS B-2 AND B-3  
HAVE BEEN POURED ACCORDING TO APPROVED PLANS AND SPECIFICATIONS.  
ALL FUTURE BUILDINGS MUST BE CONSTRUCTED ACCORDING TO REVISED  
DETAIL 1/A-3 WHICH IS NOW BEING PROCESSED FOR INCLUSION IN A  
CHANGE ORDER. REINFORCING STEEL MUST BE MODIFIED BEFORE POURING  
FOUNDATION AT BLDG. B-4.

NEW EXCAVATION IS PROCEEDING USING TOOTHLESS BUCKET AS  
RECOMMENDED BY STRUCTURAL ENGINEER. SOIL IS NOT TO BE COMPACTED  
USED WHACKER OR SIMILAR COMPACTING SYSTEM.

ROUGH FRAMING MATERIALS ARE STORED ON-SITE. CONTRACTOR TO PROVIDE  
PROTECTION FROM WEATHER

BUILDINGS AT COMPLEX A HAVE BEEN SHIFTED TO AVOID EXISTING TREES  
AND OVERHEAD ELECTRICAL LINES. CONTRACTOR TO DOCUMENT LOCATION ON  
RECORD DRAWINGS.

SUPERINTENDANT ADVISED THAT EXTERIOR OF MASONRY BUILDINGS ARE NOT  
TO BE PAINTED UNTIL A DECISION IS MADE REGARDING POSSIBLE REPAIRS  
TO CONCRETE AND ROOF.

ATTACHMENTS: SUMMARY OF MEETING WITH HOUSING AUTHORITY BOARD  
COPY OF TEST RESULTS EXTERIOR COLOR LAYOUT

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: EIGHT

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JUNE 21, 1992

TIME: 10:00 A.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 85+ DEGREES

PRESENT ON SITE: TED PARROTT

TWO EQUIPMENT OPERATORS (backhoe)  
FIVE WORKERS

WORK IN PROGRESS: BLDG. B-1 FOUNDATIONS POURED  
BLDG. B-2 SLAB POURED  
BLDG. B-3 NEARLY READY FOR FLOOR SLAB;  
PERIMETER INSULATION IN PLACE, BACKFILLED,  
UNDERSLAB PLUMBING; VISQUEEN VAPOR BARRIER  
IN PLACE, READY FOR PLACEMENT OF MESH.  
BLDG. B-4 PERIMETER INSULATION IN PLACE;  
BACKFILLING IN PROGRESS  
BLDG. B-5 PERIMETER INSULATION IN PLACE  
  
BLDG A-2 FOOTINGS EXCAVATED  
BLDG A-3 FOOTINGS EXCAVATED  
BLDG A-4 FOOTING FORMED  
BLDG A-5 FOOTINGS POURED

SITWORK - FENCES ERECTED AT LAGOON AND  
WATER TOWER.

OBSERVATIONS: WORK IS CONTINUING ON SITE. FIRST CONCRETE FLOOR  
SLAB HAS BEEN POURED. FRAMING IS TO BEGIN LATER THIS WEEK ON  
BUILDING NO. B-2.

NEW EXCAVATION IS CONTINUING USING TOOTHLESS BUCKET AS  
RECOMMENDED BY STRUCTURAL ENGINEER. SOIL IS NOT TO BE COMPACTED  
USED WHACKER OR SIMILAR COMPACTING SYSTEM.

ROUGH FRAMING MATERIALS ARE STORED ON-SITE. MATERIALS ARE NOT YET  
PROTECTED FROM WEATHER CONDITIONS.

CONTRACTOR TO ASSURE THAT STEEL REINFORCEMENT AND WIRE MESH ARE  
LOCATED APPROPRIATELY WITHIN CONCRETE POURS. ASSURE THAT MESH IS  
PULLED UP INTO SLAB; AND THAT REINFORCING BAR IS NOT LOCATED  
EXCESSIVELY CLOSE TO EDGE OF FOUNDATION WALLS.

CONSTRUCTION REPORT NO. EIGHT  
PAGE 2

CONTRACTOR'S SECOND APPLICATION FOR PAYMENT IS EXPECTED BY WEDNESDAY. DRAW INSPECTION WILL BE SCHEDULED FOR LATER THIS WEEK.

CHANGE ORDERS NO. TWO, THREE AND FOUR HAVE BEEN ACCEPTED BY FMHA. A MEETING WILL BE HELD ON MONDAY, JUNE 29 TO CONSIDER CONTRACTOR'S SECOND REQUEST FOR PAYMENT, AND TO REVIEW CONDITION OF EXISTING MASONRY BUILDINGS.

ATTACHMENTS: TESTING RESULTS

ACTION REQUIRED: ARCHITECT WILL VERIFY REQUIREMENTS OF FIRE DEPARTMENT RE NEW FIRE HYDRANTS REQUIRED PRIOR TO OCCUPANCY.

CONTRACTOR TO COVER/PROTECT STORED MATERIALS  
CONTRACTOR TO VERIFY ALL MATERIALS STORED ON  
SITE PRIOR TO SUBMITTING INVOICE FOR PAYMENT

A handwritten signature in dark ink, appearing to be a stylized name, possibly "R. Caldwell", written over the signature line.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



# MATERIALS TESTING CORPORATION

June 15, 1992  
Page # 1 of 1  
Report # B92126-008

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: Daily Inspection Report performed on 06-06-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

Inspector arrived to pick up four concrete cylinders cast on June 5, 1992.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

David O. Cram  
Division Manager



# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUN 15, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-006	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	13
Mix ID:	#101-1	Ticket #:	92735
# Of Yards:	7	Inspector:	Dave Cram

Pour Location: Building #3 footings, 20' West of the Northeast corner.

☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement Fly Ash Water Not Coarse Agg #1 Reported Coarse Agg #2 By Fine Agg #1 The Fine Agg #2 Ready Admix #1 Mix Admix #2 Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 67 Concrete Temp. (ASTM C 1064): 71 Time Batched: Not Reported Time Placed: 9.00am % Air Content (ASTM C 231): 5.0 Slump (Inches) (ASTM C 143): 2 25 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified f'c (psi): 3000

Cast Date:		Jun 5, 92						
# of Cylinders:		4						
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
4753	6	12	2827	7	Jun 12, 92	84,500	2990	Cone/Shear
4754	6	12	2827	28	Jul 3, 92			
4755	6	12	2827	28	Jul 3, 92			
4756	6	12	2827	28	Jul 3, 92			

Remarks: Concrete placed by chute and mechanically vibrated to consolidation.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

DAVID O. CRAM  
DIVISION MANAGER



June 15, 1992  
Page # 1 of 1  
Report # B92126-009

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: In-Place Density Test Results performed on 06-08-92  
Caldwell Farm Labor Housing  
Terry Taylor, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	Building 4, Northwest corner of footings.	22.0	82.7	A	87
2	Building 4, Southwest corner of footings.	24.6	81.0	A	85
3	Building 4, Northeast corner of footings.	28.7	74.6	A	79
4	Building 4, Southeast corner of footings.	25.7	80.8	A	85
5	Building 5, footing trench North corner.	13.1	91.2	A	96
6	Building 5, footing trench Northwest corner.	10.3	92.6	A	98
7	Building 5, footing trench Southwest corner	11.7	91.8	A	97
8	Building 5, footing trench East corner.	12.2	92.0	A	97
9	Building 5, footing trench West center	11.4	92.3	A	97
10	Building 5, footing trench South center.	10.6	92.9	A	98

Required Compaction: 90%

Material Type: A: 94.9 @ 19.7%, On Site Fill

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

A handwritten signature in black ink, appearing to read 'David O. Cram'.

David O. Cram  
Division Manager



June 15, 1992  
Page # 1 of 1  
Report # B92126-010

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

JUN 19 1992

Attention: Stan Janes

Re: Atterberg test results performed on 06-08-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

As requested, M.T.C. performed atterberg testing in accordance with current applicable standards. The results obtained were as follows:

Liquid Limit	Plastic Limit	Plasticity Index
23	18	5

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

A handwritten signature in black ink, appearing to read 'David O. Cram', is written over the printed name.

David O. Cram  
Division Manager



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO. NINE

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JUNE 29, 1992

TIME: 3:35 P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 75+ DEGREES

PRESENT ON SITE: TWO WORKERS

(Work has been stopped for the day, because  
of high daytime temperatures)

WORK IN PROGRESS: BLDG. B-1 BACKFILL HAS BEGUN; INSULATION IN  
PLACE

BLDG. B-2 SLAB POURED

BLDG. B-3 SLAB POURED

BLDG. B-4 SLAB POURED

BLDG. B-5 BUILDING READY FOR FLOOR SLAB TO BE  
POURED

BLDG A-2 FOOTINGS FORMED

BLDG A-3 FOUNDATION FORMED; STEEL IN PLACE

BLDG A-4 FOUNDATION POURED

BLDG A-5 FOUNDATION POURED

SITWORK - FENCES ERECTED AT LAGOON AND  
WATER TOWER.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING HAS BEEN DELAYED TO ALLOW SITE UTILITY  
WORK TO BEGIN AT COMPLEX B WITHOUT VEHICULAR TRAFFIC.

ROUGH FRAMING MATERIALS ARE STORED ON-SITE. MDO PLYWOOD SIDING IS  
STORED ON SITE. EFFORTS ARE BEING MADE TO PROTECT MATERIALS FROM  
WEATHER, BUT ADDITIONAL PROTECTION IS REQUIRED, ESPECIALLY FOR  
PARTIAL BOARD AND OTHER MATERIALS ESPECIALLY SUBJECT TO WATER  
DAMAGE. FMHA APPROVES CONTRACTOR REQUEST FOR PAYMENT - SUBJECT TO  
ADEQUATE PROTECTION FOR MATERIALS STORED ON SITE.

CONTRACTOR'S SECOND APPLICATION FOR PAYMENT WAS REVIEWED AND  
RECOMMENDED FOR PAYMENT.

ATTACHMENTS: TESTING RESULTS  
EXTERIOR COLOR SELECTIONS

ACTION REQUIRED: CONTRACTOR TO COVER/PROTECT STORED MATERIALS

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



June 22, 1992  
Page # 1 of 1  
Report # B92126-012

JUL 26 1992

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes


Re: Daily Inspection Report performed on 06-16-92  
Caldwell Farm Labor Housing  
Terry Taylor, Inspector

Gentlemen:

MTC Inspector arrived on site to pick up cylinders cast on June 15, 1992.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
David O. Cram  
Division Manager





# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUN 22, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-011	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	11
Mix ID:	101-1	Ticket #:	93125
# Of Yards:	13	Inspector:	Terry Taylor

Pour Location: Footings for building #1.

☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash. Water: Not Coarse Agg #1 Reported Coarse Agg. #2. By Fine Agg #1 The Fine Agg #2 Ready Admix #1 Mix Admix #2 Company Admix #3 Water/Cement Ratio:	Weather: Rain Ambient Temperature 62 Concrete Temp. (ASTM C 1064): 59 Time Batched. 9:00 Time Placed 9:45 % Air Content (ASTM C 231): 5.4 Slump (Inches) (ASTM C 143) : 3 0 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified f'c (psi): 2500

Cast Date: Jun 15, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
4841	6	12	2827	7	Jun 22, 92			
4842	6	12	2827	28	Jul 13, 92			
4843	6	12	2827	28	Jul 13, 92			
4844	6	12	2827	28	Jul 13, 92			

Remarks: All concrete placed by chute and mechanically vibrated to consolidated.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER



June 22, 1992  
Page # 1 of 1  
Report # B92126-007

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: Daily Inspection Report performed on 06-04-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

Inspector arrived on site to perform compaction tests on building #3 footings. Additional compaction tests were performed on building #1 (North building) footings. Today's tests on building #1 improved one to three percent as compared to tests performed on June 4, 1992. Minimum resistance values of three tons/SF were obtained on the footing trench side walls.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

David O. Cram  
Division Manager



4050 Auburn Way North, Suite 5 • Auburn, WA 98002 • (206) 850-7797  
230 South Cole Road • Boise, ID 83709 • (208) 376-4748  
1120 S.E. Salmon • Portland, OR 97214 • (503) 238-3824



# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUN 25, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-013	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	5
Mix ID:	#101-1	Ticket #:	93512
# Of Yards	11	Inspector:	Dave Cram

Pour Location: Building #3, 45' West, 4' south of the Northeast corner. Floor slabs.

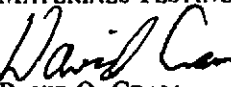
☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement Fly Ash Water Not Coarse Agg #1 Reported Coarse Agg #2 By Fine Agg #1 The Fine Agg #2 Ready Admix #1 Mix Admix #2 Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 78 Concrete Temp. (ASTM C 1064): 78 Time Batched: Not Reported Time Placed: 8:10 % Air Content (ASTM C 231): 5.0 Slump (inches) (ASTM C 143): 4.25 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified f'c (psi): 3000

Cast Date: Jun 23, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
4927	6	12	2827	7	Jun 30, 92			
4928	6	12	2827	28	Jul 21, 92			
4929	6	12	2827	28	Jul 21, 92			
4930	6	12	2827	28	Jul 21, 92			

Remarks: Concrete placed by chute and hand screeded. Wire mesh in floor slab was not being pulled into proper position at time of inspection. Inspector informed the contractor that the mesh should be centered in the slab during concrete placement.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N COLE ROAD • SUITE 280 • BOISE, IDAHO 83704

(208) 377-2870

FAX (208) 322-5886

INSPECTION NO.: TEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: JULY 6, 1992  
TIME: 10:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 75 DEGREES  
PRESENT ON SITE: CONCRETE WORKERS  
FRAMERS

WORK IN PROGRESS: BLDG A-1 EXCAVATED  
BLDG A-2 FORMING SECOND HALF OF FOUNDATION  
BLDG A-3 FOUNDATION POURED, PERIMETER INSUL.  
BEING PLACED  
BLDG A-4 READY FOR BACKFILL TO BEGIN  
BLDG A-5 BACKFILLED  
BLDG B-1 READY FOR SLAB TO BE POURED  
BLDG B-2 FRAMING NEARLY COMPLETE, TRUSSES TO  
BE SET LATER THIS WEEK  
BLDG B-3 SILL PLATES BEING CUT  
BLDG B-4 SILL PLATES BEING CUT  
BLDG B-5 SILL PLATES BEING CUT

OBSERVATIONS: WORK IS PROGRESSING WELL. QUALITY OF FRAMING MATERIAL AND LABOR APPEARS TO BE GOOD. SILLS ARE SET ON SILL SEALER. SILLS ANCHORING TO BE COMPLETED. FIRE BLOCKING AS SPECIFIED IS BEING INSTALLED.  
MATERIALS STORED ON SITE HAVE BEEN COVERED TO PRETECT FROM RAIN.

ACTION REQUIRED: CONTRACTOR TO ENSURE THAT SOLID BACKING IS INSTALLED AS SPECIFIED FOR GRAB BARS, HANDRAILS, TOWEL BARS, AND WHERE DOOR KNOBS WILL STRIKE FINISHED WALLS. ASSURE THAT ALL POCKETS IN EXTERIOR WALLS ARE INSULATED PRIOR TO ENCLOSURE. ROOF TRUSSES TO BE ANCHORED WITH H1 HURRICANE CLIPS AS SPECIFIED. ROOF TRUSSES TO BE STORED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. HORIZONTAL TRUSSES TO BE SUPPORTED ON BLOCKING TO PREVENT EXCESSIVE LATERAL BENDING AND LESSEN MOISTURE GAIN. CHECK ALL TRUSS JOINTS TO ASSURE THAT NO DAMAGE HAS OCCURRED TO MANUFACTURED TRUSSES.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: ELEVEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: JULY 8, 1992  
TIME: 2:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE: TED PARROTT, 10 WORKERS (FRAMERS, MISC.)  
JOE DALTON, GARY HAYNE - FMHA  
CHA BOARD MEMBERS  
JAY SMITHMAN

WORK IN PROGRESS: SITE A: FORMING LAST FOOTING  
ALL OTHER SITE A BUILDINGS BEING BACKFILLED  
SITE B: B-1 READY FOR FRAMING TO BEGIN.  
ALL OTHER SITE B BUILDINGS - FRAMING IN  
PROGRESS

OBSERVATIONS: WORK IS PROGRESSING WELL. QUALITY OF FRAMING MATERIAL AND LABOR APPEARS TO BE GOOD. TRUSSES ARE BEING SET AT BLDG. B-2. TRUSSES ARE BEING "TOENAILED". TOENAIL CONNECTION WILL NOT BE ACCEPTED. PROVIDE HURRICANE CLIPS AS SPECIFIED.

ACTION REQUIRED: CONTRACTOR TO ENSURE THAT SOLID BACKING IS INSTALLED AS SPECIFIED FOR GRAB BARS, HANDRAILS, TOWEL BARS, AND WHERE DOOR KNOBS WILL STRIKE FINISHED WALLS. ASSURE THAT ALL POCKETS IN EXTERIOR WALLS ARE INSULATED PRIOR TO ENCLOSURE. ROOF TRUSSES TO BE ANCHORED WITH H1 HURRICANE CLIPS AS SPECIFIED. ALSO NOT SPECIAL TRUSS ANCHORING REQUIREMENTS AT SPECIFIED LOCATIONS - SEE ROOF FRAMING PLANS FOR NOTES.

ROOF TRUSSES TO BE STORED IN ACCORDANCE WITH MANUFACTURER'S PRINTED INSTRUCTIONS. HORIZONTAL TRUSSES TO BE SUPPORTED ON BLOCKING TO PREVENT EXCESSIVE LATERAL BENDING AND LESSEN MOISTURE GAIN. CHECK ALL TRUSS JOINTS TO ASSURE THAT NO DAMAGE HAS OCCURRED TO MANUFACTURED TRUSSES. ASSURE THAT REQUIRED GRAB BARS CAN BE INSTALLED IN HANDICAPPED UNITS, AND THAT ADAPTABLE UNITS ARE PROPERLY REINFORCED FOR FUTURE INSTALLATION OF GRAB BARS. SEE PLANS FOR SIZE AND LOCATION OF REQUIRED GRAB BARS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

**WHITE ENGINEERS**

1707 LINDA VISTA LANE

BOISE, IDAHO 83704

(208)375-3581

PROJECT: Caldwell Labor Camp  
Caldwell, Idaho  
CONTRACT: Mechanical

FIELD REPORT NO:

PROJECT NO:

JUL 23 1992

DATE 7/2/92 TIME WEATHER TEMP. RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White  
Ted Parrot

**OBSERVATIONS**

1. Part of the 6" waste line has been installed and the first manhole has been set. Discussions were held with Ted concerning waste line testing and manhole testing. This is spelled out in the specifications very carefully and this procedure shall be followed.
2. Some of the buildings have been roughed in although no additional plumbing has been done.
3. Several new units may be added to the cluster of sites. We are forwarding a rough sketch showing the waste and water lines stubbing across the road into the area of these new units.

**ITEMS TO VERIFY**

**INFORMATION OR ACTION REQUIRED**

**ATTACHMENTS**

REPORT BY:

WHITE ENGINEERS



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWELVE

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JULY 13, 1992

TIME: 4:00 P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 90 DEGREES

PRESENT ON SITE: (Work has been stopped for the day, because  
of high daytime temperatures)

WORK IN PROGRESS: BLDG. B-1 FRAMING HAS BEGUN  
BLDG. B-2 ROOF SHEATHED AND DRY SHEETED;  
INSULATION HAS BEEN PACKED IN EXTERIOR  
POCKETS; GYP.BD. IS BEING PLACED BEHIND  
TUB/SHOWER AT PARTY WALLS.  
BLDG. B-3 FRAMING AT GROUND FLOOR NEARLY  
COMPLETE.  
BLDG. B-4 FRAMING AT GROUND FLOOR NEARLY  
COMPLETE  
BLDG. B-5 FRAMING AT GROUND FLOOR HAS BEGUN.

BLDG. A-1 BACKFILLING IN PROGRESS  
BLDG A-2 BACKFILLING IN PROGRESS  
BLDG A-3 PLUMBING IN PROGRESS  
BLDG A-4 READY FOR FLOOR SLAB TO BE POURED  
BLDG A-5 SLAB POURED; READY FOR FRAMING TO  
BEGIN

SITework - WORK ON SITE UTILITIES AND  
BUILDING HOOPUPS IS IN PROGRESS AT SITE B.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. PLY-CLIPS HAVE NOT YET BEEN INSTALLED ON ROOF  
TRUSSES AT BLDG. B-2. BACKING NOT YET INSTALLED AS REQUIRED.

ATTACHMENTS: TESTING RESULTS

ACTION REQUIRED: WHEREVER HEADERS ARE NOT TIGHT AGAINST  
TRIMMERS, CONTRACTOR SHALL SHIM WITH HARDWOOD SHIMS

VERIFY THAT GRAB BARS CAN BE INSTALLED AS SPECIFIED; AND BACKING  
INSTALLED AS SPECIFIED AT SHOWER/TUB UNITS. NOTE THAT TUB CONTROLS  
AT HANDICAPPED UNITS ARE TO BE OFFSET AS INDICATED ON THE DRAWINGS.  
PROVIDE HURRICANE CLIPS AS SPECIFIED AT ROOF TRUSSES; PROVIDE  
ADDITIONAL ANCHORS AS INDICATED ON SIMPLIFIED ROOF VIEW.

ASSURE THAT ALL SILL PLATES ARE ANCHORED AS REQUIRED BY UBC.  
ANCHORS REQUIRED WITHIN 12" OF END OF EACH PIECE.





# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

JUL 10 1992

REPORT DATE:	JUL 6, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-006	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	13
Mix ID:	#101-1	Ticket #:	92735
# Of Yards:	7	Inspector:	Dave Cram

Pour Location: Building #3 footings, 20' West of the Northeast corner.


☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Reported Coarse Agg. #2: By Fine Agg. #1. The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 67 Concrete Temp. (ASTM C 1064): 71 Time Batched: Not Reported Time Placed: 9.00am % Air Content (ASTM C 231): 5.0 Slump (Inches) (ASTM C 143) : 2.25 Unit Weight (ASTM C 138) Not Reported Yield (ASTM C 138) Not Reported Water Added (gals): None Specified f'c (psi): 3000

Cast Date: Jun 5, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
4753	6	12	28.27	7	Jun 12, 92	84,500	2990	Cone/Shear
4754	6	12	28.27	28	Jul 3, 92	121,000	4280	Cone
4755	6	12	28.27	28	Jul 3, 92	120,000	4240	Cone
4756	6	12	28.27	28	Jul 3, 92	119,000	4210	Cone

Remarks: Concrete placed by chute and mechanically vibrated to consolidation.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER



**MATERIALS  
TESTING  
CORPORATION**

July 9, 1992  
Page # 1 of 1  
Report # B92126-016

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

JUL 13 1992

Attention: Stan Janes

Re: Daily Inspection Report performed on 07-08-92  
Caldwell Farm Labor Housing  
Greg Skipper, Inspector

Gentlemen:

Inspector picked up cylinders cast on July 7, 1992.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

David O. Cram  
Division Manager



# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	JUL 9, 1992	PROJECT:	CALDWELL FARM LABOR HOUSING
CLIENT:	RUSSEL CORPORATION	CONTRACTOR:	QUALITY CONCRETE
FILE #:	B92164-015	SUPPLIER:	G & B REDI MIX
Permit #:	Not Reported	Truck #:	#7
Mix ID:	101-1	Ticket #:	94099
# Of Yards:	10	Inspector:	Greg Skipper

Pour Location: Building #1, first building on the southwest side, building 1B.

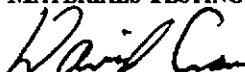
☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Provided Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Clear Ambient Temperature: 58 Concrete Temp. (ASTM C 1064): 75 Time Batched: 6:30 Time Placed: 7:03 % Air Content (ASTM C 231): 4.5 Slump (Inches) (ASTM C 143): 2.75 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): 10 Specified f'c (psi): 3000

Cast Date:		Jul 7, 92						
# of Cylinders:		4						
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
5059	6	12	2827	7	Jul 14, 92			
5060	6	12	2827	28	Aug 4, 92			
5061	6	12	2827	28	Aug 4, 92			
5062	6	12	2827	28	Aug 4, 92			

Remarks: Placed on wire mesh, slab on grade.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**EXTERIOR COLOR SELECTIONS - CALDWELL FARM LABOR HOUSING  
FARMWAY VILLAGE - CALDWELL, IDAHO**

**COMPLEX A -**

SHINGLES	GRAYSTONE	
SOFFITS	GRAY	
SIDING	5422M	Antiquarian Gray
TRIM	5424D	Lost Cavern
FASCIA	GRAY	
DOORS	5421W	Overcast

**COMPLEX B -**

SHINGLES	DESERT TAN	
SOFFITS	ALMOND	
SIDING	5810W	Mushroom White
TRIM	5634D	Herb Garden
FASCIA	BROWN	
DOORS	5633M	Feather

**COMPLEX C -**

SHINGLES	GRAYSTONE	
SOFFITS	BLUE	
SIDING	5492M	Remembrance
TRIM	5494D	Hidden
FASCIA	BLUE	
DOORS	5404D	Colonnade

**COMPLEX D - (proposed)**

SHINGLES	DESERT TAN	
SOFFITS	CREAM	
SIDING	5691W	Buff
TRIM	5693M	Arrowroot
FASCIA	BROWN	
DOORS	5404D	Colonnade

**OFFICE/LAUNDRY BUILDING**

SHINGLES	GRAYSTONE	
SOFFITS	CLAY	
SIDING	5583M	Barnacle
TRIM	5585N	Jetty
FASCIA	CLAY	
DOORS	5581W	Boulder

EXTERIOR COLOR SELECTIONS  
FARMWAY VILLAGE  
PAGE 2

NEW STORAGE BUILDINGS

SHINGLES	DESERT TAN
SOFFIT	CREAM
SIDING	5203M EARTHENWARE
TRIM	5204D CHARLIE BROWN
FASCIA	BROWN
DOORS	5404D COLONNADE

MASONRY BUILDINGS

GROUP I

MASONRY	5204D CHARLIE BROWN
DOORS	5404D COLONNADE

GROUP II

MASONRY	4353M TEAKWOOD
DOORS	5404D COLONNADE

GROUP III

MASONRY	4354D APPLECIDER
DOORS	5404D COLONNADE

GROUP IV

MASONRY	5203M EARTHENWARE
DOORS	5404D COLONNADE

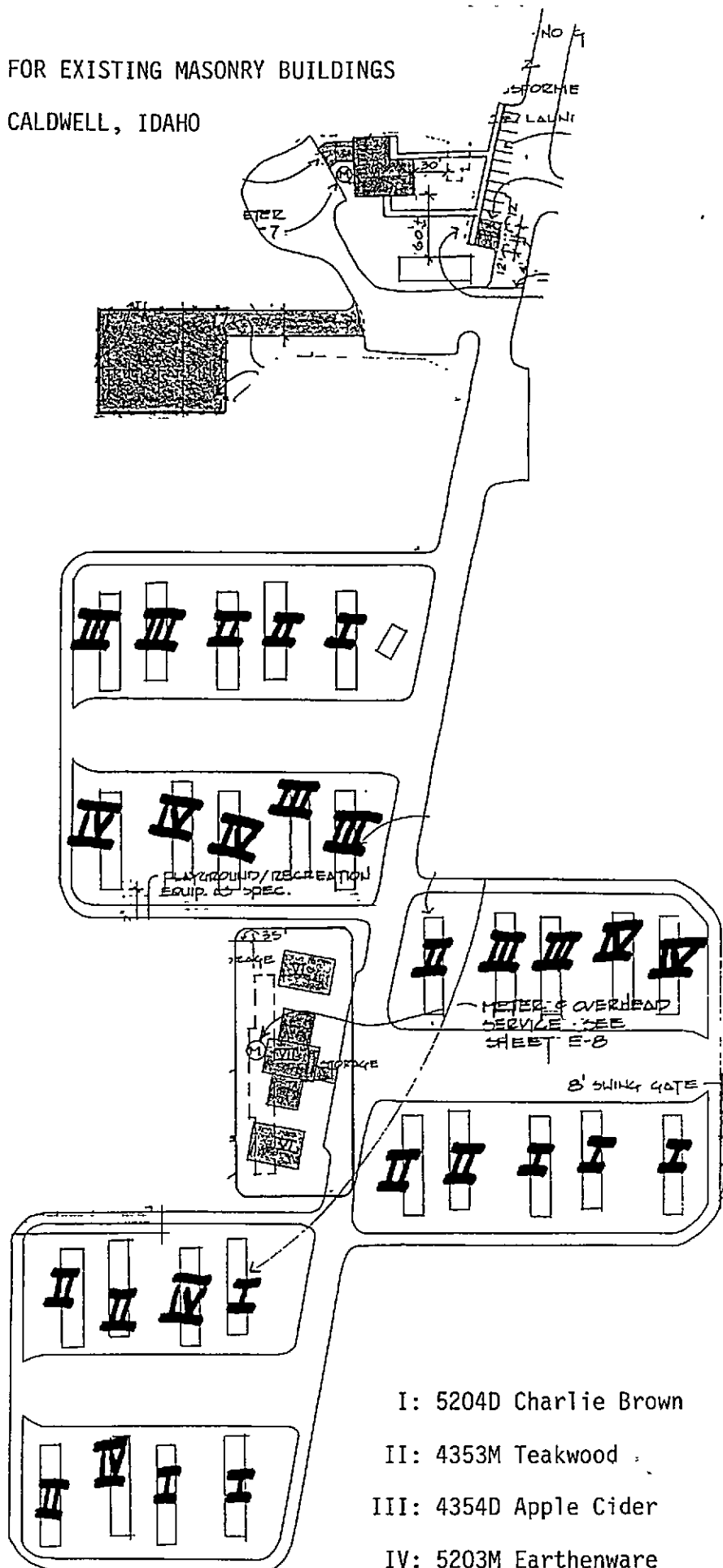
Shingles as manufactured by:	OWENS-CORNING
Paint as manufactured by:	KWAL-HOWELLS
Fascia as manufactured by:	HEARTLAND PRODUCTS
Soffit as manufactured by:	HEARTLAND PRODUCTS

Colors shown have been selected from the above listed manufacturer's. Actual product shall comply fully with the specification for that product.

# EXTERIOR COLOR CHART FOR EXISTING MASONRY BUILDINGS

FARM LABOR HOUSING - CALDWELL, IDAHO

JULY 2, 1992





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: ~~NINE THIRTEEN~~

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: JULY 16, 1992

TIME: 3:00 P.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 90+ DEGREES

PRESENT ON SITE: TED PARROTT

MECH. ENGR. JERRY WHITE

FRAMERS, ELECTRICIANS, PLUMBERS

WORK IN PROGRESS: BLDG. B-1 FRAMING UNDERWAY  
BLDG. B-2 SHINGLES STOCKED, READY FOR ROOFING  
TO BEGIN; ROUGH FRAMING ESSENTIALLY  
COMPLETE; ELECTRICAL AND PLUMBING ROUGH-IN  
NEARING COMPLETION.  
BLDG. B-3 FIRST FLOOR FRAMING NEARLY  
COMPLETE; SECOND FLOOR FRAMING UNDERWAY.  
BLDG. B-4 FIRST FLOOR FRAMING NEARLY  
COMPLETE; SECOND FLOOR FRAMING UNDERWAY.  
BLDG. B-5 FRAMING UNDERWAY

COMPLEX A: BUILDINGS READY FOR FRAMING TO  
BEGIN

SITework - WORK ON SITE UTILITIES IS  
CONTINUING TO PROGRESS AT SITE B

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEX B. CLIPS  
HAVE BEEN INSTALLED AT GABLE ENDS, BUT REMAIN TO BE INSTALLED ON  
ALL ROOF TRUSSES. PLUMBING ROUGH-IN IS PROGRESSING. (MECH. INSP.  
REPORT TO FOLLOW)

ACTION REQUIRED: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH  
TRUSS; VERIFY THAT REQUIRED BACKING IS IN PLACE AT  
ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL  
BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES  
WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED;  
ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE  
STRIKING ADJACENT WALLS.

NEXT DRAW INSPECTION IS SCHEDULED FOR FRIDAY, JULY 24. TIME TO BE  
SET.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

**WILLMORTH ENGINEERING, P.A.**

2995 North Cole Road  
Suite 250  
BOISE, IDAHO 83704  
(208) 376-4673

TO CROWDER ASSOCIATES

P1 of 2

THE FOLLOWING WAS NOTED:

DATE 7/21/92		JOB NO. 91100	
PROJECT CALDWELL LABOR HOUSING			
LOCATION Canyon County			
CONTRACTOR Russell Corp		OWNER CHA	
WEATHER clear		TEMP. ° at 85° at 2:30 PM	
PRESENT AT SITE TED PARROTT			

> BUILDING #II, 2BR UNIT:

1. RANGE CABLE IS SECURED WITH CONDUIT DRIVE-IT-STRAP.
2. OUTER JACKET OF PANEL FEEDER SER CABLES IS DAMAGED AT SOUTH WALL.

GENERAL, BUILDING II:

3. RANGE CABLES ARE #8 (AL). SECTION 16B - WIRES AND CABLES requires copper conductors for all except SERVICE FEEDERS.
4. BENDS IN NMC (Rough) DO NOT HAVE SUFFICIENT BENDING RADIUS TO PREVENT damage to OUTER JACKET. NEC 336-14 requires radius of five times the NMC diameter, or about 2 inches.
5. ALL NMC IS NOT SUPPORTED AS required by NEC 336-14. RUNS up to 62" without support were noticed, both in walls and above ceiling joists.

FAXED  
COPIES TO THE Russell Corporation  
SMITH ELECTRIC

**FIELD REPORT**

SIGNED Jack



**WILLMORTH ENGINEERING, P.A.**

2995 North Cole Road  
Suite 250  
BOISE, IDAHO 83704  
(208) 376-4673

TO CROWDER ASSOCIATES

THE FOLLOWING WAS NOTED:

P 2 of 2

DATE <u>7/21/92</u>		JOB NO.	
PROJECT <u>CALDWELL LABOR Housing</u>			
LOCATION			
CONTRACTOR		OWNER	
WEATHER		TEMP. ° at AM ° at PM	
PRESENT AT SITE			

6. FEEDERS ON TOP OF CEILING JOISTS HAVE BEEN SECURED BY CONDUIT DRIVE-IT STRAPS. OUTER JACKET OF SER. Cable may be damaged.
7. ALUMINUM FEEDERS ARE NOT TERMINATED WITH CIRCUMFERENTIAL PRESSURE CONNECTORS AS REQUIRED BY SECTION 16B of the specifications.

COPIES TO \_\_\_\_\_

**FIELD REPORT**

SIGNED Jack



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: FOURTEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: JULY 22, 1992  
TIME: 2:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85+ DEGREES  
PRESENT ON SITE: TED PARROTT  
FRAMERS, ELECTRICIANS, PLUMBERS

WORK IN PROGRESS: BLDG. B-1 FRAMING UNDERWAY, TRUSSES BEING SET  
BLDG. B-2 SHINGLES STOCKED, READY FOR ROOFING  
TO BEGIN; ROUGH FRAMING ESSENTIALLY  
COMPLETE; ELECTRICAL AND PLUMBING ROUGH-IN  
NEARING COMPLETION.  
BLDG. B-3 FIRST FLOOR FRAMING NEARLY  
COMPLETE; SECOND FLOOR FRAMING NEARLY  
COMPLETE; TRUSSES SET.  
BLDG. B-4 FIRST FLOOR FRAMING NEARLY  
COMPLETE; SECOND FLOOR FRAMING NEARLY  
COMPLETE; READY FOR TRUSSES.  
BLDG. B-5 FRAMING NEARLY COMPLETE; TRUSSES  
SET; ROOF SHEATHING UNDERWAY.

COMPLEX A: BUILDINGS READY FOR FRAMING TO  
BEGIN; LAST FLOOR SLAB TO BE POURED THIS  
WEEK; SILL PLATES BEING LAID OUT.

OFFICE/LAUNDRY BLDG.: QUARANTINE BUILDINGS  
HAVE BEEN DEMOLISHED; EXCAVATION FOR  
FOOTINGS IS ESSENTIALLY COMPLETE.

MASONRY BUILDINGS: EXTERIOR PAINT IS IN  
PROGRESS. PAINTER HAS AGREED THAT NECESSARY  
TOUCHUP FOLLOWING ROOF REPAIRS WILL BE  
ACCOMPLISHED WITH NO ADDITIONAL COST TO THE  
OWNER.

SITWORK - WORK ON SITE UTILITIES IS  
CONTINUING TO PROGRESS AT SITES A AND B.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEX B. CLIPS  
HAVE BEEN INSTALLED AT GABLE ENDS OF BLDG. B2. REQUIRED HURRICANE  
CLIPS ARE NOT BEING INSTALLED ON ALL TRUSSES OF ALL BUILDINGS.  
ELECTRICAL INSPECTION OF BLDG B2 REPORTS SIGNIFICANT ITEMS WHICH  
REQUIRE CORRECTION. (SEE ATTACHED REPORT FROM WILLMORTH).

INSPECTION NO: FOURTEEN (continued)

ACTION REQUIRED: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS; VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

NEXT DRAW INSPECTION IS SCHEDULED FOR FRIDAY, JULY 24; 10:00 A.M. AT PROJECT SITE.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



**THE RUSSELL CORPORATION** Construction Management / General Construction  
8150 Emerald Street, Suite 100  
Boise ID 83704 (208) 323-0777 FAX (208) 323-9465

July 21, 1992

/// 22 1992

Mr. Donald E. Downen  
Vice Chairman  
Caldwell Housing Authority  
P.O. Box 70  
Caldwell, Idaho 83605

Re: Farmway Village Construction/Demolition


Dear Mr. Downen:

The Russell Corporation's demolition subcontractor, Gillingham Construction, indicated that it intended to remove many of the existing buildings from the project intact. This has resulted in several discussions in which both the Caldwell Housing Authority and the Farmers Home Administration have made their position clear that the existing buildings scheduled for removal must first be demolished so that none are removed intact thereby creating the possibility for human habitation.

The Russell Corporation has instructed Gillingham Construction to demolish the buildings before they are removed, and, it is our understanding that it intends to comply with that direction. However, since Gillingham Construction contends that this requirement is not part of the plans and specifications, it will in all likelihood request a change order increasing its contract amount to cover its claimed additional net cost resulting from losing the net salvage value of the intact buildings.

The best information we have available indicates that nine of the buildings to be removed have excessive lead levels which will require remediation before demolition scheduled for September can proceed. Since it is the Housing Authority's responsibility to remediate such hazardous materials when encountered, request is hereby made that you arrange for the remediation to allow demolition to proceed as scheduled in September.

Sincerely,



Neal H. Russell  
President

NHR/nr

cc: Crowder Associates



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: FIFTEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 3, 1992  
TIME: 2:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 95+ DEGREES  
PRESENT ON SITE:

FRAMERS, PLUMBERS  
WORK ESSENTIALLY SHUT DOWN FOR THE DAY

WORK IN PROGRESS: BLDG. B-1 FRAMING ESSENTIALLY COMPLETE; ROOF  
DRY SHEETED; SHINGLES STOCKED.  
BLDG. B-2 ROOF HAS BEEN SHINGLED; INTERIOR  
SHEETROCKED, WITH TAPING UNDERWAY; WINDOWS  
BEING SET; ENTRY DOORS SET.  
BLDG. B-3 FRAMING ESSENTIALLY COMPLETE;  
ROOF DRY SHEETED; SHINGLES STOCKED;  
ELECTRICAL AND PLUMBING ROUGH-IN NEARLY  
COMPLETE.  
BLDG. B-4 ROOF SHEATHED, READY FOR DRY  
SHEETING. BUILDING READY FOR PLUMBING AND  
ELECTRICAL ROUGH-IN TO BEGIN.  
BLDG. B-5 ROOF DRY SHEETED; SHINGLES STOCKED  
AND WORK BEGINNING ON ROOFING. PLUMBING AND  
ELECTRICAL ROUGH-IN IN PROGRESS.

COMPLEX A:  
BLDG. A-1 SILL PLATES BEING PLACED  
BLDGS. A-2, A-3, A-4, A-5: FRAMING OF GROUND  
FLOOR PERIMETER WALLS IS ESSENTIALLY  
COMPLETE; INTERIOR FRAMING BEGINNING.

OFFICE/LAUNDRY BLDG.: FOOTINGS & FOUNDATIONS  
POURED; UNDERSLAB PLUMBING IN PLACE;  
BUILDING BACKFILLED; INSULATION AND VISQUEEN  
IN PLACE; MESH BEING PLACED; BLDG. NEARLY  
READY FOR FLOOR SLAB TO BE POURED.

MASONRY BUILDINGS: EXTERIOR PAINT IS IN  
PROGRESS.  
SITWORK - WORK ON SITE UTILITIES IS  
CONTINUING TO PROGRESS AT SITES A AND B.

INSPECTION NO: FIFTEEN (continued)

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEXES A & B. CLIPS HAVE BEEN INSTALLED AT GABLE ENDS OF BLDG. B2. REQUIRED HURRICANE CLIPS ARE NOT BEING INSTALLED ON ALL TRUSSES OF ALL BUILDINGS.

ACTION REQUIRED: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be "Raymond" followed by a stylized surname, written over a horizontal line.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: SIXTEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 12, 1992  
TIME: 10:45 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE: TED PARROTT, STAN JANES  
ROOFERS  
DAVE LINDEN  
JAY SMITHMAN

WORK IN PROGRESS: DEMOLITION OF ROOFING ON EXISTING MASONRY BUILDINGS HAS BEGUN. ROOFING HAS BEEN REMOVED FROM THREE BUILDINGS. REMOVAL OF DEBRIS; CLEANING OF DECK; REMOVAL OF WOOD NAILERS AND OTHER ASSOCIATED WORK IS BEGINNING. CONTRACTOR INTENDS TO REMOVE ROOFING FROM ONE ADDITIONAL BUILDING THIS WEEK.

ROOF DECK CONDITIONS DISCOVERED TO DATE ARE AS EXPECTED. REPAIRS AND NEW MATERIALS ARE TO BE MADE IN ACCORD WITH THE CHANGE ORDER. IF CONDITIONS CHANGE IN FUTURE BUILDINGS, ARCHITECT IS TO BE ADVISED SO THAT CHANGES CAN BE MADE IF NECESSARY.

OBSERVATIONS: CONTRACTOR IS PREPARED TO PROTECT BUILDINGS IF RAIN IS PREDICTED PRIOR TO RE-ROOFING THESE BUILDINGS. MATERIALS REMOVED FROM EXISTING ROOFS IS BEING TESTED BY MTC TO VERIFY THAT INSULATION IS NOT AN ASBESTOS PRODUCT.

MATERIALS REMOVED FROM BUILDINGS WAS FOUND TO BE THOROUGHLY SOAKED WITH WATER, IN SPITE OF LACK OF RAIN DURING THE LAST 30 DAYS.

ACTION REQUIRED: CONTRACTOR TO PROTECT BUILDINGS AS NEEDED DURING ROOFING PROJECT. CONTRACTOR TO THOROUGHLY CLEAN DETERIORATING CONCRETE, LEAVING SOLID CONCRETE BASE PRIOR TO COATING WITH EPOXY PAINT. CONTRACTOR TO CUT-BACK CONCRETE AND REMOVE EXPOSED STEEL REINFORCEMENT WHERE NECESSARY.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



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ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: SIXTEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 12, 1992  
TIME: 10:45 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE: TED PARROTT, STAN JANES  
ROOFERS  
DAVE LINDEN  
JAY SMITHMAN

WORK IN PROGRESS: DEMOLITION OF ROOFING ON EXISTING MASONRY BUILDINGS HAS BEGUN. ROOFING HAS BEEN REMOVED FROM THREE BUILDINGS. REMOVAL OF DEBRIS; CLEANING OF DECK; REMOVAL OF WOOD NAILERS AND OTHER ASSOCIATED WORK IS BEGINNING. CONTRACTOR INTENDS TO REMOVE ROOFING FROM ONE ADDITIONAL BUILDING THIS WEEK.

ROOF DECK CONDITIONS DISCOVERED TO DATE ARE AS EXPECTED. REPAIRS AND NEW MATERIALS ARE TO BE MADE IN ACCORD WITH THE CHANGE ORDER. IF CONDITIONS CHANGE IN FUTURE BUILDINGS, ARCHITECT IS TO BE ADVISED SO THAT CHANGES CAN BE MADE IF NECESSARY.

OBSERVATIONS: CONTRACTOR IS PREPARED TO PROTECT BUILDINGS IF RAIN IS PREDICTED PRIOR TO RE-ROOFING THESE BUILDINGS. MATERIALS REMOVED FROM EXISTING ROOFS IS BEING TESTED BY MTC TO VERIFY THAT INSULATION IS NOT AN ASBESTOS PRODUCT.

MATERIALS REMOVED FROM BUILDINGS WAS FOUND TO BE THOROUGHLY SOAKED WITH WATER, IN SPITE OF LACK OF RAIN DURING THE LAST 30 DAYS.

ACTION REQUIRED: CONTRACTOR TO PROTECT BUILDINGS AS NEEDED DURING ROOFING PROJECT. CONTRACTOR TO THOROUGHLY CLEAN DETERIORATING CONCRETE, LEAVING SOLID CONCRETE BASE PRIOR TO COATING WITH EPOXY PAINT. CONTRACTOR TO CUT-BACK CONCRETE AND REMOVE EXPOSED STEEL REINFORCEMENT WHERE NECESSARY.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR





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INTERIOR COLOR SCHEDULE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

SCHEME 'A' - FOR USE AT COMPLEX A and OFFICE/LAUNDRY BLDG. and  
STORAGE BUILDINGS

VINYL FLOOR COVERING: ARMSTRONG CAMBRAY 68501  
RUBBER BASE: NO. 34 RIPE OLIVE  
PLASTIC LAMINATE: SILVERPINE D29-6  
WINDOW BLINDS: 318 SILVER CLOUD

SCHEME 'B' - FOR USE AT COMPLEX B

VINYL FLOOR COVERING: ARMSTRONG CAMBRAY 68431  
RUBBER BASE: NO. 2 DARK BROWN  
PLASTIC LAMINATE: LIGHT TAN MARBLE 1730A-2  
WINDOW BLINDS: 315 BISCUIT

SCHEME 'C' - FOR USE AT COMPLEX C

VINYL FLOOR COVERING: ARMSTRONG CAMBRAY 68504  
RUBBER BASE: NO. 3 CHARCOAL  
PLASTIC LAMINATE: GREY MILLSTONE 4590-15  
WINDOW BLINDS: 748 SHADOW GRAY

OPTION 'D' - FOR USE AT COMPLEX D

VINYL FLOOR COVERING: ARMSTRONG CAMBRAY 68281  
RUBBER BASE: NO. 12 SANDALWOOD  
PLASTIC LAMINATE: BEIGE MILLSTONE 4535-15  
WINDOW BLINDS: 270 LINEN

TYPICAL ALL UNITS:

INTERIOR DOORS: ALPINE OAK  
INTERIOR WALLS: & CEILINGS: 5770W SHELL WHITE

MANUFACTURERS: Colors shown are for the following manufacturers

Floor Covering: Armstrong Cambray	Rubber Base: Flexco
Plastic Laminate: WilsonArt	Blinds: HunterDouglas
Interior Doors: DoorCraft	Paint: Kwal-Howells



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: SEVENTEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 16, 1992  
TIME: 10:30 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE:

WORK WAS STOPPED FOR THE WEEKEND

WORK IN PROGRESS: BLDG. B-1 BUILDING READY FOR MECHANICAL  
ELECTRICAL ROUGH-IN; ROOF DRY SHEETED;  
WINDOWS HUNG; PATIOS POURED  
BLDG. B-2 INTERIOR TEXTURING COMPLETE, READY  
FOR INTERIOR PAINT; EXTERIOR SIDING PAINTED  
BLDG. B-3 SHEETROCKING IS IN PROGRESS;  
EXTERIOR PAINTING HAS BEGUN \*\*\* WRONG COLOR  
HAS BEEN USED; CORRECTION WILL BE REQUIRED  
\*\*\*; SHINGLES STOCKED \*\*\* CONTRACTOR TO  
VERIFY THAT APPROPRIATE SHINGLE COLOR HAS  
BEEN STOCKED.  
BLDG. B-4 PLUMBING & ELECTRICAL ROUGH-IN HAS  
BEGUN; HURRICANE CLIPS ARE NOT YET IN PLACE;  
FLASHING FOR LOW ROOFS NOT YET IN PLACE; ALL  
PATIOS HAVE BEEN POURED  
BLDG. B-5 PLUMBING AND ELECTRICAL ROUGH-IN  
COMPLETE; INSULATION AND VAPOR BARRIER IN  
PLACE; BACKING IN PLACE AS REQUIRED; PATIOS  
HAVE BEEN POURED; ROOFING COMPLETE.

**COMPLEX A:**

BLDG. A-1 FRAMING INTERIOR WALLS  
BLDG. A-2 TRUSSES SET; ANCHORS NOT YET IN  
PLACE ON TRUSSES OR ON GABLE ENDS.  
BLDG. A-3 EXTERIOR WALLS FRAMED; INTERIORS  
IN PROGRESS  
BLDG. A-4 WINDOWS SET; SIDING IN PROGRESS  
BLDG. A-5 FRAMING PROGRESSING ; SIDING INSTALLED

OFFICE/LAUNDRY BLDG.: FLOOR SLAB POURED; SILL  
PLATES BEING LAID OUT; READY FOR FRAMING TO  
BEGIN.

BLDG. C-3 FOOTING AND FOUNDATION POURED;  
PLUMBING IN PROGRESS  
BLDG. C-5 FOOTING/FOUNDATION IN PLACE, READY  
FOR BACKFILL.

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING HAS BEGUN.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEXES A & B. CLIPS CONTINUE TO BE INSTALLED AS REQUIRED ON TRUSSES. ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK PROGRESSES.

ACTION REQUIRED: 1) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT; UNIT NO. 218 HAS NOT YET BEEN CORRECTED. CONTRACTOR TO CORRECT INCORRECTLY PLACED WINDOWS.

2) CHECK SHINGLES WHICH HAVE NOT YET TABBED. CLEAN OR REMOVE ANY MATERIALS WHICH HAVE PREVENTED PROPER TABBING. TEMPERATURES ARE SUFFICIENT TO HAVE ALLOWED ALL INSTALLED SHINGLES TO HAVE TABBED BY THIS TIME.

3) EXTERIOR SIDING AT COMPLEX B IS TO BE A SINGLE COLOR. CONTRACTOR TO VERIFY ALL EXTERIOR COLORS FOR EACH BUILDING SITE. COLORS TO BE CORRECTED TO CONFORM WITH APPROVED COLOR SCHEDULE.

4) AT COMPLEX A, QUALITY OF FRAMING IS NOT EQUAL TO COMPLEX B. CONTRACTOR TO ASSURE THAT HEADERS, TRIMMERS, ETC ARE FIT TIGHTLY. CONTRACTOR TO PROVIDE HARDWOOD SHIMS WHERE FIT IS NOT TIGHT.

5) ASSURE THAT HANDICAPPED UNIT AT COMPLEX A IS MODIFIED AS REQUIRED FOR HANDICAPPED UNITS; VERIFY DRAWINGS FOR DOOR SIZES, MOUNTING HEIGHTS, AND SIMILAR DIFFERENCES AT HANDICAPPED UNITS.

6) IT WAS NOTED THAT WHERE STUDS AT PARTY WALLS HAVE BEEN REMOVED TO ALLOW ACCESS BETWEEN UNITS, STUDS ARE NOT REINSTALLED PRIOR TO INSULATING. ASSURE THAT STUDS ARE REPLACED PRIOR TO INSTALLATION OF GYP. BD.

INSPECTION NO. SEVENTEEN (continued)  
Page 3 of 3

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be 'Ray Smith', written in a cursive style.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: EIGHTEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 19, 1992  
TIME: 2:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 95 DEGREES  
PRESENT ON SITE: FRAMERS  
ROOFERS  
DEMOLITION CREW  
CHA BOARD MEMBERS

**WORK IN PROGRESS:**

**COMPLEX A:**

BLDG. A-1 SECOND FLOOR FRAMING HAS BEGUN  
BLDG. A-2 ROOF HAS BEEN SHEATHED; SIDING  
COMPLETE, WINDOWS SET  
BLDG. A-3 SECOND FLOOR FRAMING IN PROGRESS  
BLDG. A-4 ROOF IS DRY SHEETED; SIDING  
COMPLETE, WINDOWS SET  
BLDG. A-5 ROOF IS SHEATHED; SIDING COMPLETE,  
WINDOWS SET

OFFICE/LAUNDRY BLDG.: FRAMING IS WELL  
UNDERWAY; ROOF TRUSSES BEING SET AT TIME OF  
ARCHITECT'S VISIT.

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS UNDERWAY. FIVE  
ROOFS ARE CURRENTLY IN VARYING STAGES OF  
REMOVAL/REPLACEMENT.

DEMOLITION IS NEARLY COMPLETE AT UTILITY  
BUILDING, WHERE ASBESTOS ABATEMENT WAS  
COMPLETED PREVIOUSLY.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEXES A & B.  
ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK  
PROGRESSES.

ACTION REQUIRED: 1) TEMPERED GLASS HAS BEEN CORRECTED AT ALL  
BUT ONE UNIT; UNIT NO. 220 HAS NOT YET BEEN CORRECTED.  
CONTRACTOR TO CORRECT INCORRECTLY PLACED WINDOWS.

2) CHECK SHINGLES WHICH HAVE NOT YET TABBED. CLEAN OR REMOVE  
ANY MATERIALS WHICH HAVE PREVENTED PROPER TABBING. TEMPERATURES  
ARE SUFFICIENT TO HAVE ALLOWED ALL INSTALLED SHINGLES TO HAVE  
TABBED BY THIS TIME.

3) EXTERIOR SIDING AT COMPLEX B WILL BE A SINGLE COLOR. COLORS WILL BE CORRECTED TO CONFORM WITH APPROVED COLOR SCHEDULE.

4) AT COMPLEX A, QUALITY OF FRAMING IS NOT EQUAL TO COMPLEX B. CONTRACTOR TO ASSURE THAT HEADERS, TRIMMERS, ETC ARE FIT TIGHTLY. CONTRACTOR TO PROVIDE HARDWOOD SHIMS WHERE FIT IS NOT TIGHT.

5) ASSURE THAT HANDICAPPED UNIT AT COMPLEX A IS MODIFIED AS REQUIRED FOR HANDICAPPED UNITS; VERIFY DRAWINGS FOR DOOR SIZES, MOUNTING HEIGHTS, AND SIMILAR DIFFERENCES AT HANDICAPPED UNITS.

6) DURING ARCHITECT'S VISIT, DEMOLITION CONTRACTOR APPARENTLY DAMAGED A CONTAINER OF AN UNIDENTIFIED CHEMICAL WHICH WAS STORED IN THE BUILDING. WHEN EXPOSED TO AIR AND WATER, THERE WAS APPARENTLY SPONTANEOUS COMBUSTION IN THE BUILDING RUBBLE. FIRE DEPARTMENT, EPA, POLICE AND OTHER EMERGENCY SERVICES WERE CALLED TO THE SITE. NO INJURIES HAVE BEEN REPORTED. EPA IS ASSISTING IN CLEANUP. CONTINUED ACTION IS EXPECTED.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be "R. M. Miller", is written over the distribution list.

AUG 19 1992

WHITE ENGINEERS

1707 LINDA VISTA LANE

BOISE, IDAHO 83704

(208)375-3581

PROJECT: Congregate Housing  
Caldwell, Idaho  
CONTRACT: Mechanical

FIELD REPORT NO:

PROJECT NO:

DATE 8-12-92 TIME WEATHER TEMP. RANGE

EST. % OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Jack

Rav Crowder

OBSERVATIONS

1. Framing was being installed at the time of this inspection. The slabs have been poured on the two east wings and plumbing rough-in is 100% complete in those areas. The kitchen is roughed-in although the slab has not been poured.
2. On the remaining wing, the plumbing work is progressing. Electric water cooler was relocated at the time of this site visit and was clearly marked on the job site drawings. The electrician should be advised of this.
3. Apparently block-outs have not been left in some of the framing for the through wall A/C units. These units are furnished by Riley Hill and a rough-in sheet for the size of these openings should be obtained from Riley.

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

REPORT BY:

AUG 19 1992

WHITE ENGINEERS  
1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing  
Caldwell, Idaho  
CONTRACT: Mechanical

FIELD REPORT NO:  
PROJECT NO:

DATE	8-12-92	TIME	WEATHER	TEMP. RANGE
EST. % OF COMPLETION			CONFORMANCE WITH SCHEDULE(+,-)	
WORK IN PROGRESS			PRESENT AT SITE	White

OBSERVATIONS

1. Foundation work is being prepared on one of the units in Group C.
2. Note was taken that the flex duct from the wardrobe ventilation system have been installed in the single story units. This ductwork shall be properly supported and excessive bends shall be removed from these exhaust ducts.
3. Plumbing rough-in is continuing in most all areas and underground piping in Areas A and B is partially complete.

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

REPORT BY:





# MATERIALS TESTING CORPORATION

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

AUG 13 1992

REPORT DATE:	AUG 11, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-017	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	17
Mix ID:	#101-1	Ticket #:	95164
# Of Yards:	8	Inspector:	Kevin Sagez

Pour Location: Slab on grade new office.

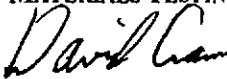
☒ Concrete Cylinders      ☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Reported Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 74 Concrete Temp. (ASTM C 1064): 78 Time Batched: Not Reported Time Placed: 8:10 % Air Content (ASTM C 231): 5.25 Slump (inches) (ASTM C 143): 4 0 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): 5.0 Specified f'c (psi): 3000

Cast Date: Aug 4, 92		# of Cylinders: 4						
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
5282	6	12	2827	7	Aug 11, 92	78000	2760	Cone
5283	6	12	2827	28	Sep 1, 92			
5284	6	12	2827	28	Sep 1, 92			
5285	6	12	2827	28	Sep 1, 92			

Remarks: Concrete was placed from truck chute to slab surface, jitterbugged and hand finished. Wire mat was raised to proper position with a claw.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

August 20, 1992

John Clements  
Materials Testing Corporation  
230 S. Cole Road  
Boise, Idaho 83709

re: Caldwell Housing Authority  
Asbestos Monitoring

Dear John;

As you know, the Board of Directors of the Caldwell Housing Authority met on August 19 to consider the need for continuing monitoring during asbestos abatement.

Based upon the information that you provided to the Board, and also based upon discussions that I had with the abatement contractor, Northwest Technologies, it is our understanding that monitoring by the Owner is not mandated by law or by regulatory agencies. The Board has, therefore, decided that continuing monitoring by MTC as a representative of the Owner is not required and will be discontinued as of this date.

I am advising you of this action on behalf of the Housing Authority. I will also advise Northwest Technologies of this decision. If future discoveries or changed conditions indicate the need for resumption of monitoring, I will so notify you at that time.

We appreciate your efforts in behalf of the Housing Authority on this project, and look forward to our continuing business relationship.

Sincerely,

Ray Crowder, AIA

cc: Caldwell Housing Authority  
FmHA - District, State  
Northwest Technologies



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

August 20, 1992

Dave Holman  
Northwest Technologies, Inc.  
6724 W. Emerald St.  
Boise, Idaho 83704

re: Farm Labor Housing  
Caldwell, Idaho

Dear Dave;

The Caldwell Housing Authority has formally advised Materials Testing Corporation that their continuing monitoring of asbestos abatement on behalf of the Owner will not be required.

I have advised MTC that it is our understanding that such monitoring is not required by law or by regulatory agencies. It is our understanding that Northwest Technologies will continue its own routine monitoring.

If conditions change, or if you believe it advisable that the Housing Authority resume monitoring, please advise me so that appropriate action can be taken.

Your continuing assistance in this matter is appreciated.

Sincerely,

Ray Crowder, AIA

cc: Caldwell Housing Authority  
FmHA - State, District



# MATERIALS TESTING CORPORATION

AUG 21 1992

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	AUG 19, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-019	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	1
Mix ID:	#101-2	Ticket #:	95732
# Of Yards:	8	Inspector:	Kevin Sagez

Pour Location: Slab on grade C3.

☒ Concrete Cylinders

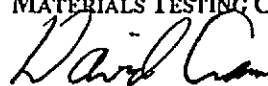
☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Reported Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 70 Concrete Temp. (ASTM C 1064): 76 Time Batched: 6:45 Time Placed: 7:35 % Air Content (ASTM C 231): 5.6 Slump (Inches) (ASTM C 143): 4.5 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified f'c (psi): 3500

Cast Date: Aug 18, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
S401	6	12	28.27	7	Aug 25, 92			
S402	6	12	28.27	28	Sep 15, 92			
S403	6	12	28.27	28	Sep 15, 92			
S404	6	12	28.27	28	Sep 15, 92			

Remarks: Concrete was placed from truck chute to slab surface. Wire mat was raised to proper position with a claw.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
DAVID O. CRAM  
DIVISION MANAGER

August 18, 1992

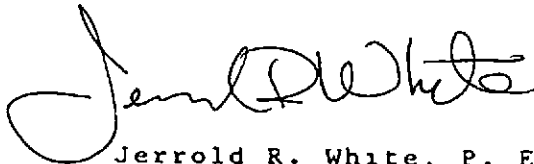
Labor & Industrial Services  
Plumbing Division  
227 N. 6th  
Boise, Idaho 83720  
Attn: Joe Meyers

Subject: Farmway Housing - Caldwell, Idaho

Dear Joe:

The purpose of this letter is to clarify previous correspondence to you concerning the overhead water piping on the subject job.

The plumbing contractor, Paragon Plumbing, and Labor & Industrial Services will not be liable for any damage on the subject job resulting from freezing of the overhead water piping.



Jerrold R. White, P. E.  
White Engineers



Ray Crowder, Jr.  
Crowder Associates



Dave Linden, Project Manager  
Farmway Housing

JRW/sl



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: NINETEEN

PROJECT: CALDWELL HOUSING AUTHORITY

LOCATION: CALDWELL, IDAHO

DATE: AUGUST 24, 1992

TIME: 11:30 A.M.

WORK ON SCHEDULE: YES

WEATHER CONDITIONS: CLEAR, 80 DEGREES

PRESENT ON SITE: FRAMERS  
ROOFERS  
ELECTRICIANS  
SHEETROCKERS

WORK IN PROGRESS:

COMPLEX A:

BLDG. A-1 SECOND FLOOR FRAMING IN PROGRESS  
BLDG. A-2 ROOF IS DRY SHEETED; SIDING  
COMPLETE, WINDOWS SET  
BLDG. A-3 SECOND FLOOR FRAMING IN PROGRESS;  
LOWER LEVEL TRUSSES BEING SET  
BLDG. A-4 ROOF IS DRY SHEETED; SIDING  
COMPLETE, WINDOWS SET  
BLDG. A-5 ROOF IS DRY SHEETED; SIDING  
COMPLETE; PLUMBING ROUGH-IN IN PROGRESS

COMPLEX B:

BLDG. B-1 PLUMBING AND ELECTRICAL ROUGH-IN IN  
PROGRESS; EXTERIOR TRIM PAINT IN PROGRESS  
BLDG. B-2 READY FOR INTERIOR PAINT AND  
EXTERIOR TRIM PAINT  
BLDG. B-3 TAPED AND TEXTURED, READY FOR PAINT  
BLDG. B-4 READY FOR SHINGLES; SHEETROCK IN  
PROGRESS  
BLDG. B-5 EXTERIOR PAINT AND TRIM; SHINGLES  
COMPLETE; INTERIOR TAPING IN PROGRESS

COMPLEX C:

BLDG. C-3 SLAB COMPLETE; LAYING OUT FRAMING  
BLDG. C-4 FOOTING COMPLETE; FOUNDATION FORMED  
WITH STEEL IN PLACE; READY FOR POUR  
BLDG. C-5 UNDERSLAB PLUMBING IN PROGRESS

OFFICE/LAUNDRY BLDG.: FRAMING IS WELL UNDERWAY;  
ROOF FRAMING IN PROGRESS; WINDOWS SET

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS UNDERWAY. FIVE  
ROOFS ARE CURRENTLY IN VARYING STAGES OF  
REMOVAL/REPLACEMENT.

DEMOLITION IS COMPLETE AT UTILITY BUILDING.

INSPECTION REPORT NUMBER NINETEEN (continued)

Page 2 of 3

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEXES A, B AND C, AT OFFICE, AND AT MASONRY BUILDINGS. ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK PROGRESSES.

CHEMICAL SPILL NOTED IN REPORT NO. EIGHTEEN HAS BEEN CLEANED UP; CHEMICAL IS IN DRUMS STORED ON-SITE IN STORAGE BUILDING. CHEMICAL WILL BE DISPOSED OF AFTER IT HAS BEEN IDENTIFIED.

ACTION REQUIRED: 1) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT; UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR TO CORRECT INCORRECTLY PLACED WINDOWS.

2) CHECK SHINGLES WHICH HAVE NOT YET TABBED. CLEAN OR REMOVE ANY MATERIALS WHICH HAVE PREVENTED PROPER TABBING. TEMPERATURES ARE SUFFICIENT TO HAVE ALLOWED ALL INSTALLED SHINGLES TO HAVE TABBED BY THIS TIME.

3) EXTERIOR SIDING AT COMPLEX B WILL BE A SINGLE COLOR. COLORS WILL BE CORRECTED TO CONFORM WITH APPROVED COLOR SCHEDULE.

4) ASSURE THAT UNIT<sup>215</sup><sub>327</sub> IS FRAMED PROPERLY FOR HANDICAPPED FLOOR PLAN. ASSURE THAT TEMPERED GLASS IS INSTALLED AS REQUIRED IN BUILDING A-2.

5) CHECK SPACING OF SCREWS IN GYP. BD., TYPICAL ALL UNITS AT COMPLEX A.

6) ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ROOF VENTS AS INDICATED ON THE DRAWINGS.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

INSPECTION REPORT NO. NINETEEN

Page 3 of 3

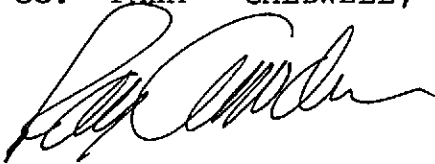
ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CONTRACTOR'S 4TH REQUEST FOR PAYMENT WAS REVIEWED ON SITE & RECOMMENDED FOR PAYMENT.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be "R. Caldwell", is written over the distribution list.





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

August 26, 1992

Stan Janes  
The Russell Corporation  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

re: Farm Labor Housing  
Caldwell, Idaho

Dear Stan;

As discussed in our telephone conversation, this letter is to request a proposal for several changes which are needed at the referenced project.

1. OFFICE/COMMUNITY BUILDING: Improve the sound separation between office spaces and the laundry room. This is to be accomplished by adding insulation to that wall. In addition, gypsum wall board on this wall is to be placed over sound deadening board or resilient channel.

2. STORAGE BUILDINGS: In storage buildings VII (typical 1 building), delete 24 storage cubicles. This space is to serve as project storage and will be accessed from the north side of the building. Individual storage areas are to be served from the south side of each building. (See attached revised drawing of this area).

3. OFFICE/COMMUNITY BUILDING: Modifications are expected in the mailroom. Please delay all work on the west wall of the mailroom. Additional information on this wall will be provided as it becomes available.

4. OFFICE/COMMUNITY BUILDING: It is likely that additional ventilation or air conditioning will be required in this building. Mechanical engineer is considering alternatives for this building.

Your assistance in providing a proposal to accomplish these changes is appreciated. If you have any questions in this matter, please feel free to contact me.

Sincerely,

Ray Crowder, AIA

cc: Caldwell Housing Authority



# MATERIALS TESTING CORPORATION

AUG 21 1992

## CONCRETE COMPRESSIVE STRENGTH TEST REPORT

REPORT DATE:	AUG 19, 1992	PROJECT:	FARM LABOR HOUSING
CLIENT:	RUSSELL CORPORATION	CONTRACTOR:	QUALITY CONCRETE, INC.
FILE #:	B92126-019	SUPPLIER:	G&B REDI MIX
Permit #:	Not Reported	Truck #:	1
Mix ID:	#101-2	Ticket #:	95732
# Of Yards:	8	Inspector:	Kevin Sages

Pour Location: Slab on grade C3.

☒ Concrete Cylinders

☐ Grout Cylinders

MIX PROPORTIONS:	TEST PROPERTIES & CONDITIONS:
Cement : Fly Ash: Water: Not Coarse Agg. #1: Reported Coarse Agg. #2: By Fine Agg. #1: The Fine Agg. #2: Ready Admix #1: Mix Admix #2: Company Admix #3: Water/Cement Ratio:	Weather: Sunny Ambient Temperature: 70 Concrete Temp. (ASTM C 1064): 76 Time Batched: 6:45 Time Placed: 7:35 % Air Content (ASTM C 231): 5.6 Slump (Inches) (ASTM C 143): 4.5 Unit Weight (ASTM C 138): Not Reported Yield (ASTM C 138): Not Reported Water Added (gals): None Specified f'c (psi): 3500

Cast Date: Aug 18, 92								
# of Cylinders: 4								
Cylinder ID	Cylinder Diameter	Cylinder Height	Cylinder Area	Test Age	Test Date	Failure Load	Compressive Strength	Fracture Type
5401	6	12	28.27	7	Aug 25, 92			
5402	6	12	28.27	28	Sep 15, 92			
5403	6	12	28.27	28	Sep 15, 92			
5404	6	12	28.27	28	Sep 15, 92			

Remarks: Concrete was placed from truck chute to slab surface. Wire mat was raised to proper position with a claw.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

DAVID O. CRAM  
DIVISION MANAGER



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**INTERIOR COLOR SCHEDULE  
FARM LABOR HOUSING  
CALDWELL, IDAHO  
REVISED 8/21/92**

**SCHEME 'A' - FOR USE AT COMPLEX A and OFFICE/LAUNDRY BLDG. and  
STORAGE BUILDINGS**

VINYL FLOOR COVERING: LAWTON TILE COLOR 3725  
RUBBER BASE: NO. 34 RIPE OLIVE  
STAIR TREAD/RISER/STRINGER: 750 - OLIVE GREEN  
PLASTIC LAMINATE: SILVERPINE D29-6  
WINDOW BLINDS: 318 SILVER CLOUD

**SCHEME 'B' - FOR USE AT COMPLEX B**  
VINYL FLOOR COVERING: LAWTON TILE COLOR 3726  
RUBBER BASE: NO. 2 DARK BROWN  
STAIR TREAD/RISER/STRINGER: 200 - BROWN  
PLASTIC LAMINATE: LIGHT TAN MARBLE 1730A-2  
WINDOW BLINDS: 315 BISCUIT

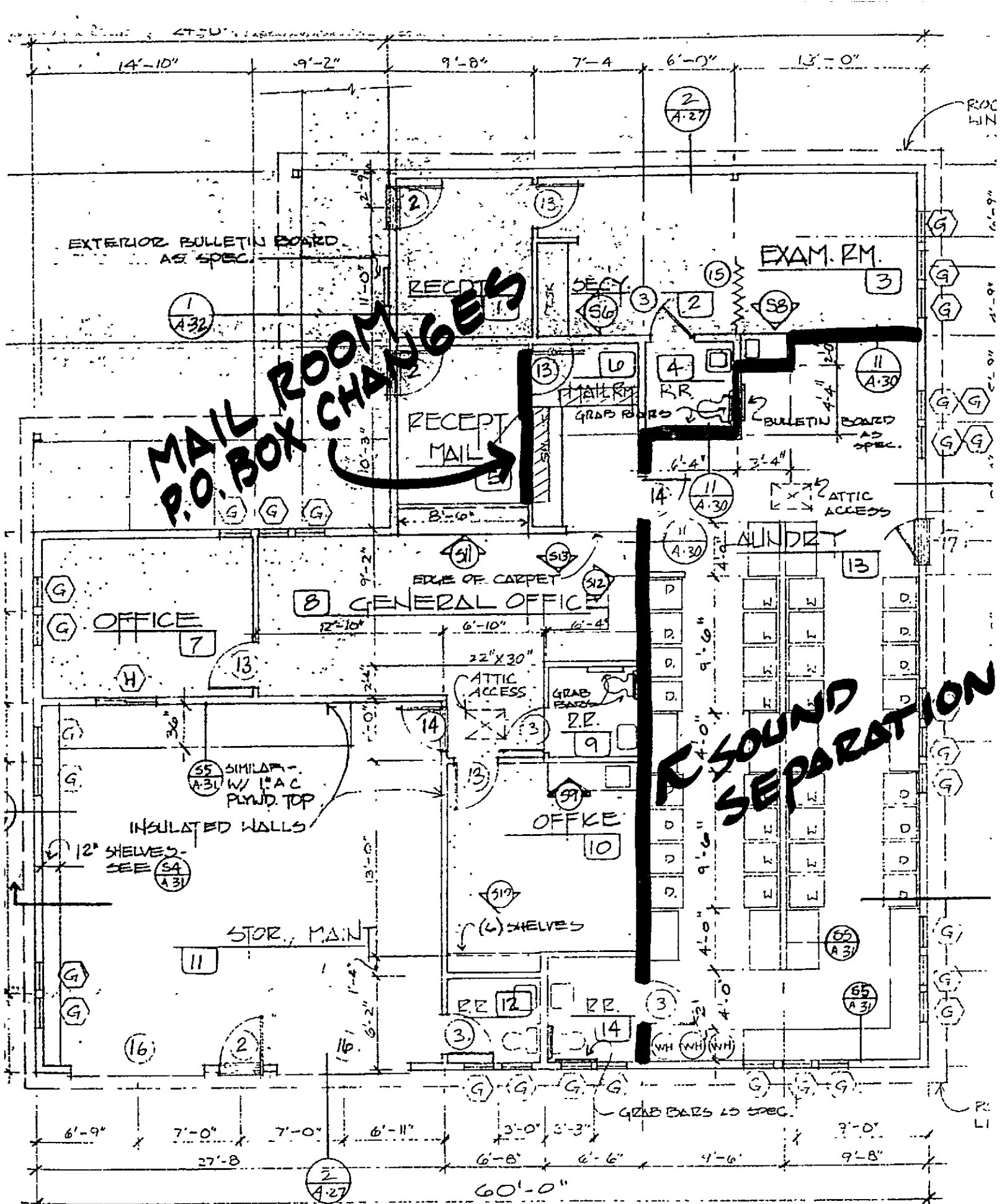
**SCHEME 'C' - FOR USE AT COMPLEX C**  
VINYL FLOOR COVERING: DEL MAR COLOR 3676  
RUBBER BASE: NO. 3 CHARCOAL  
STAIR TREAD/RISER/STRINGER: 800 - GRAY  
PLASTIC LAMINATE: GREY MILLSTONE 4590-15  
WINDOW BLINDS: 748 SHADOW GRAY

**OPTION 'D' - FOR USE AT COMPLEX D - (if approved)**  
VINYL FLOOR COVERING: DEL MAR COLOR 3675  
RUBBER BASE: NO. 12 SANDALWOOD  
STAIR TREAD/RISER/STRINGER: 170 - BEIGE  
PLASTIC LAMINATE: BEIGE MILLSTONE 4535-15  
WINDOW BLINDS: 270 LINEN

**TYPICAL ALL UNITS:**

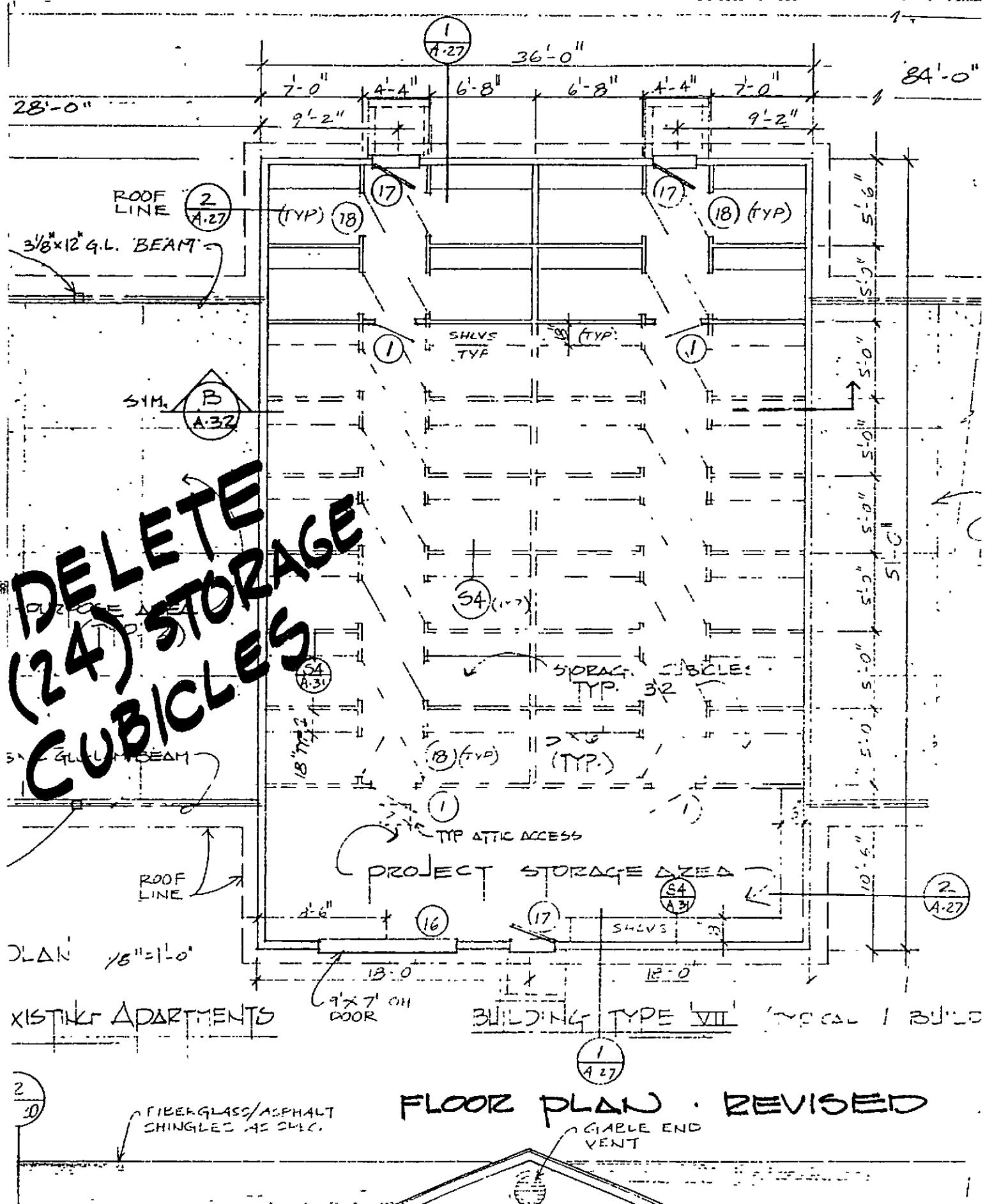
INTERIOR DOORS: ALPINE OAK  
INTERIOR WALLS: & CEILINGS: 5770W SHELL WHITE

**MANUFACTURERS:** Colors shown are for the following manufacturers  
Floor Covering: Congoleum Valufloor      Rubber Base: Flexco  
Plastic Laminate: WilsonArt      Blinds: HunterDouglas  
Interior Doors: DoorCraft      Paint: Kwal-Howells  
Stair Tread/Riser/Stringer: Flexco



BUILDING TYPE 'V'

FLOOR PLAN - OFFICE/LAUNDRY/STORAGE BLDG.





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

Stan Janes  
The Russell Corporation  
8150 Emerald St., Suite 100  
Boise, Idaho 83704

re: Farm Labor Housing  
Caldwell, Idaho

Dear Stan;

As you know, a Change Order is now being processed which, when approved, will allow the demolition sub-contractor to move and rehabilitate the existing wood frame dwellings rather than destroy them.

We have received via Gillingham Const., a letter from Glenn Messegar which outlines the work that will be performed on each relocated building. Based upon the described work, it is the opinion of the Owner and Architect that any hazard resulting from the lead-based paint in the buildings will be removed by the planned rehabilitation. For your use and information I am enclosing copies of all test results for the subject buildings, indicating the extent of lead-based paint identified by those tests.

I hope to receive notice that the Change Order is approved within the next several days. Upon receipt of that notice, I will advise the Russell Corp. so that appropriate preparations can begin.

Sincerely,

Ray Crowder, AIA

cc: FmHA - State, FmHA - District, Owner (letter only)



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ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

Glenn Messegar  
P.O. Box 44777  
Boise, Idaho 83711

re: Farm Labor Housing  
Caldwell, Idaho

Dear Mr. Messegar;

As you know, a Change Order is now being processed which, when approved, will allow the demolition sub-contractor to move and rehabilitate the existing wood frame dwellings rather than destroy them.

We have received via Gillingham Const., a letter from Glenn Messegar which outlines the work that will be performed on each relocated building. Based upon the described work, it is the opinion of the Owner and Architect that any hazard resulting from the lead-based paint in the buildings will be removed by the planned rehabilitation. For your use and information I am enclosing copies of all test results for the subject buildings, indicating the extent of lead-based paint identified by those tests.

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Sincerely,

Ray Crowder, AIA

cc: FmHA - State, FmHA - District, Owner (letter only)



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ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

Stan Janes  
The Russell Corporation  
8150 Emerald St., Suite 100  
Boise, Idaho 83704

re: Farm Labor Housing  
Caldwell, Idaho

Dear Stan;

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We have received via Gillingham Const., a letter from Glenn Messegar which outlines the work that will be performed on each relocated building. Based upon the described work, it is the opinion of the Owner and Architect that any hazard resulting from the lead-based paint in the buildings will be removed by the planned rehabilitation. For your use and information I am enclosing copies of all test results for the subject buildings, indicating the extent of lead-based paint identified by those tests.

I hope to receive notice that the Change Order is approved within the next several days. Upon receipt of that notice, I will advise the Russell Corp. so that appropriate preparations can begin.

Sincerely,

Ray Crowder, AIA

cc: FmHA - State, FmHA - District, Owner (letter only)





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ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: NINETEEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 24, 1992  
TIME: 11:30 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 80 DEGREES  
PRESENT ON SITE: FRAMERS  
ROOFERS  
ELECTRICIANS  
SHEETROCKERS

WORK IN PROGRESS:

COMPLEX A:

BLDG. A-1 SECOND FLOOR FRAMING IN PROGRESS  
BLDG. A-2 ROOF IS DRY SHEETED; SIDING  
COMPLETE, WINDOWS SET  
BLDG. A-3 SECOND FLOOR FRAMING IN PROGRESS;  
LOWER LEVEL TRUSSES BEING SET  
BLDG. A-4 ROOF IS DRY SHEETED; SIDING  
COMPLETE, WINDOWS SET  
BLDG. A-5 ROOF IS DRY SHEETED; SIDING  
COMPLETE; PLUMBING ROUGH-IN IN PROGRESS

COMPLEX B:

BLDG. B-1 PLUMBING AND ELECTRICAL ROUGH-IN IN  
PROGRESS; EXTERIOR TRIM PAINT IN PROGRESS  
BLDG. B-2 READY FOR INTERIOR PAINT AND  
EXTERIOR TRIM PAINT  
BLDG. B-3 TAPED AND TEXTURED, READY FOR PAINT  
BLDG. B-4 READY FOR SHINGLES; SHEETROCK IN  
PROGRESS  
BLDG. B-5 EXTERIOR PAINT AND TRIM; SHINGLES  
COMPLETE; INTERIOR TAPING IN PROGRESS

COMPLEX C:

BLDG. C-3 SLAB COMPLETE; LAYING OUT FRAMING  
BLDG. C-4 FOOTING COMPLETE; FOUNDATION FORMED  
WITH STEEL IN PLACE; READY FOR POUR  
BLDG. C-5 UNDERSLAB PLUMBING IN PROGRESS

OFFICE/LAUNDRY BLDG.: FRAMING IS WELL UNDERWAY;  
ROOF FRAMING IN PROGRESS; WINDOWS SET

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS UNDERWAY. FIVE  
ROOFS ARE CURRENTLY IN VARYING STAGES OF  
REMOVAL/REPLACEMENT.

DEMOLITION IS COMPLETE AT UTILITY BUILDING.

INSPECTION REPORT NUMBER NINETEEN (continued)

Page 2 of 3

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF THE WORK IS GOOD. FRAMING IS PROGRESSING WELL AT COMPLEXES A, B AND C, AT OFFICE, AND AT MASONRY BUILDINGS. ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK PROGRESSES.

CHEMICAL SPILL NOTED IN REPORT NO. EIGHTEEN HAS BEEN CLEANED UP; CHEMICAL IS IN DRUMS STORED ON-SITE IN STORAGE BUILDING. CHEMICAL WILL BE DISPOSED OF AFTER IT HAS BEEN IDENTIFIED.

ACTION REQUIRED: 1) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT; UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR TO CORRECT INCORRECTLY PLACED WINDOWS.

2) CHECK SHINGLES WHICH HAVE NOT YET TABBED. CLEAN OR REMOVE ANY MATERIALS WHICH HAVE PREVENTED PROPER TABBING. TEMPERATURES ARE SUFFICIENT TO HAVE ALLOWED ALL INSTALLED SHINGLES TO HAVE TABBED BY THIS TIME.

3) EXTERIOR SIDING AT COMPLEX B WILL BE A SINGLE COLOR. COLORS WILL BE CORRECTED TO CONFORM WITH APPROVED COLOR SCHEDULE.

4) ASSURE THAT UNIT 215/327 IS FRAMED PROPERLY FOR HANDICAPPED FLOOR PLAN. ASSURE THAT TEMPERED GLASS IS INSTALLED AS REQUIRED IN BUILDING A-2.

5) CHECK SPACING OF SCREWS IN GYP. BD., TYPICAL ALL UNITS AT COMPLEX A.

6) ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ROOF VENTS AS INDICATED ON THE DRAWINGS.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

INSPECTION REPORT NO. NINETEEN  
Page 3 of 3

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CONTRACTOR'S 4TH REQUEST FOR PAYMENT WAS REVIEWED ON SITE & RECOMMENDED FOR PAYMENT.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be "R. Caldwell", is written over the distribution list.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

August 26, 1992

Stan Janes  
The Russell Corporation  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

re: Farm Labor Housing  
Caldwell, Idaho

Dear Stan;

As discussed in our telephone conversation, this letter is to request a proposal for several changes which are needed at the referenced project.

1. OFFICE/COMMUNITY BUILDING: Improve the sound separation between office spaces and the laundry room. This is to be accomplished by adding insulation to that wall. In addition, gypsum wall board on this wall is to be placed over sound deadening board or resilient channel.

2. STORAGE BUILDINGS: In storage buildings VII (typical 1 building), delete 24 storage cubicles. This space is to serve as project storage and will be accessed from the north side of the building. Individual storage areas are to be served from the south side of each building. (See attached revised drawing of this area).

3. OFFICE/COMMUNITY BUILDING: Modifications are expected in the mailroom. Please delay all work on the west wall of the mailroom. Additional information on this wall will be provided as it becomes available.

4. OFFICE/COMMUNITY BUILDING: It is likely that additional ventilation or air conditioning will be required in this building. Mechanical engineer is considering alternatives for this building.

Your assistance in providing a proposal to accomplish these changes is appreciated. If you have any questions in this matter, please feel free to contact me.

Sincerely,

Ray Crowder, AIA

cc: Caldwell Housing Authority



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INTERIOR COLOR SCHEDULE  
FARM LABOR HOUSING  
CALDWELL, IDAHO  
REVISED 8/21/92

SCHEME 'A' - FOR USE AT COMPLEX A and OFFICE/LAUNDRY BLDG. and  
STORAGE BUILDINGS

VINYL FLOOR COVERING: LAWTON TILE COLOR 3725  
RUBBER BASE: NO. 34 RIPE OLIVE  
STAIR TREAD/RISER/STRINGER: 750 - OLIVE GREEN  
PLASTIC LAMINATE: SILVERPINE D29-6  
WINDOW BLINDS: 318 SILVER CLOUD

SCHEME 'B' - FOR USE AT COMPLEX B

VINYL FLOOR COVERING: LAWTON TILE COLOR 3726  
RUBBER BASE: NO. 2 DARK BROWN  
STAIR TREAD/RISER/STRINGER: 200 - BROWN  
PLASTIC LAMINATE: LIGHT TAN MARBLE 1730A-2  
WINDOW BLINDS: 315 BISCUIT

SCHEME 'C' - FOR USE AT COMPLEX C

VINYL FLOOR COVERING: DEL MAR COLOR 3676  
RUBBER BASE: NO. 3 CHARCOAL  
STAIR TREAD/RISER/STRINGER: 800 - GRAY  
PLASTIC LAMINATE: GREY MILLSTONE 4590-15  
WINDOW BLINDS: 748 SHADOW GRAY

OPTION 'D' - FOR USE AT COMPLEX D - (if approved)

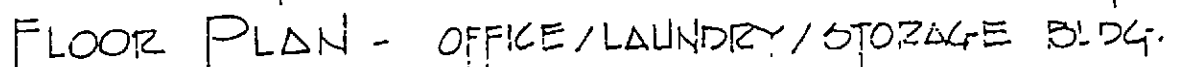
VINYL FLOOR COVERING: DEL MAR COLOR 3675  
RUBBER BASE: NO. 12 SANDALWOOD  
STAIR TREAD/RISER/STRINGER: 170 - BEIGE  
PLASTIC LAMINATE: BEIGE MILLSTONE 4535-15  
WINDOW BLINDS: 270 LINEN

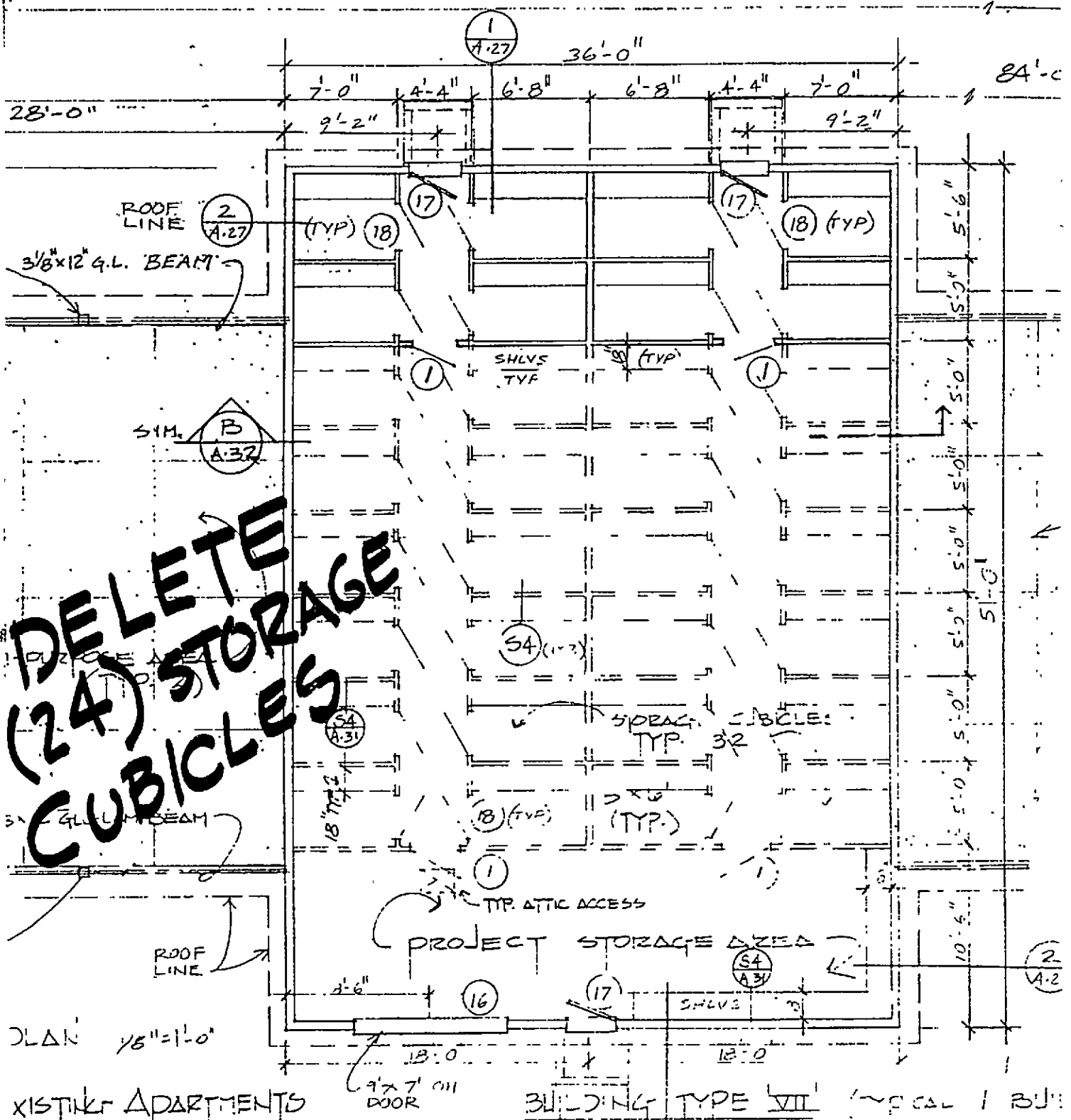
TYPICAL ALL UNITS:

INTERIOR DOORS: ALPINE OAK  
INTERIOR WALLS: & CEILINGS: 5770W SHELL WHITE

MANUFACTURERS: Colors shown are for the following manufacturers

Floor Covering: Congoleum Valufloor	Rubber Base: Flexco
Plastic Laminate: WilsonArt	Blinds: HunterDouglas
Interior Doors: DoorCraft	Paint: Kwal-Howells
Stair Tread/Riser/Stringer: Flexco	







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ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWENTY  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: AUGUST 27, 1992  
TIME: 4:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 90 DEGREES  
PRESENT ON SITE: WORK IS STOPPED FOR THE DAY

**SHEETROCKERS**

**WORK IN PROGRESS:**

**COMPLEX A:**

BLDG. A-1 SECOND FLOOR FRAMING IN PROGRESS  
BLDG. A-2 ROOF IS DRY SHEETED; PLUMBING AND  
ELECTRICAL ROUGH-IN IN PROGRESS  
BLDG. A-3 SECOND FLOOR FRAMING IN PROGRESS;  
LOWER LEVEL TRUSSES SET  
BLDG. A-4 ROOF IS DRY SHEETED; NEARLY READY  
FOR INSULATION  
BLDG. A-5 ROOF IS DRY SHEETED; PLUMBING AND  
ELECTRICAL ROUGH-IN IN PROGRESS

**COMPLEX B:**

BLDG. B-1 WALLS INSULATED; SHEETROCKING IN  
PROGRESS; EXTERIOR PAINT NEARLY COMPLETE.  
BLDG. B-2 READY FOR INTERIOR PAINT AND  
EXTERIOR TRIM PAINT  
BLDG. B-3 TAPED AND TEXTURED, READY FOR PAINT  
BLDG. B-4 READY FOR SHINGLES; SHEETROCK COMP.  
TAPING IN PROGRESS  
BLDG. B-5 EXTERIOR PAINT AND TRIM; SHINGLES  
COMPLETE; INTERIOR TAPED, READY FOR TEXTURE

**COMPLEX C:**

BLDG. C-3 FRAMING IN PROGRESS  
BLDG. C-4 FOUNDATION COMPLETE  
BLDG. C-5 CONCRETE FLOOR SLAB HAS BEEN POURED

**OFFICE/LAUNDRY BLDG.: ROOF IS DRY SHEETED**

**MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS CONTINUING.**



INSPECTION REPORT NUMBER TWENTY (continued)  
Page 2 of 3

SITE: A COMPLEX - PARKING AREAS HAVE BEEN CUT  
SITE: B COMPLEX - CONCRETE CURBS AND WALKS HAVE  
BEGUN AT PARKING AREAS.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF THE WORK IS GOOD. FRAMING IS PROGRESSING AT COMPLEX A. FINISHES ARE CONTINUING AT COMPLEX B. WORK ON SOFFITS IS READY TO BEGIN. ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK PROGRESSES.

ACTION REQUIRED: 1) CONTRACTOR TO ENSURE THAT HARDWOOD SHIM ARE USED WHEREVER GAPS EXIST BETWEEN HEADERS AND TRIMMERS. NO ADDITIONAL SHEETROCKING IS TO BE DONE UNTIL SHIMS ARE IN PLACE AND APPROVED BY ARCHITECT.

2) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT; UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR TO CORRECT INCORRECTLY PLACED WINDOWS AND TO ENSURE THAT APPROPRIATE GLASS IS USED IN ALL LOCATIONS.

3) EXTERIOR SIDING AT COMPLEX B WILL BE A SINGLE COLOR. COLORS WILL BE CORRECTED TO CONFORM WITH APPROVED COLOR SCHEDULE.

5) CHECK SPACING OF SCREWS IN GYP. BD., TYPICAL ALL UNITS AT COMPLEX A.

6) ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ROOF VENTS AS INDICATED ON THE DRAWINGS. ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS PANELS.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

INSPECTION REPORT NO. TWENTY  
Page 3 of 3

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

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BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWENTYONE  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: SEPTEMBER 2, 1992  
TIME: 4:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 90 DEGREES  
PRESENT ON SITE: WORK IS STOPPED FOR THE DAY

**SHEETROCKERS**

**WORK IN PROGRESS:**

**COMPLEX A:**

BLDG. A-1 SIDING IN PROGRESS; READY TO SET TRUSSES; SHIMS AT HEADERS BEGUN, NEED SHIM ALSO AT INTERIOR LOAD-BEARING HEADERS  
BLDG. A-2 SHINGLES STOCKED ON ROOF; SIDING COMPLETE; ELECTRICAL & PLUMBING ROUGH-IN IN PROGRESS; SHIMS IN PROGRESS  
BLDG. A-3 ROOF IS SHEATHED; HURRICANE CLIPS IN PLACE; SHIMS IN PROGRESS; PLUMBING AND ELECTRICAL ROUGH-IN HAS BEGUN.  
BLDG. A-4 SHINGLES STOCKED ON ROOF; SIDING COMPLETE; WALLS INSULATED & VAPOR BARRIER INSTALLED; SHEETROCKING BEGINNING. COVER IS APPROVED; SHIMS ARE IN PLACE AS REQUIRED. INSULATION IS BEING PLACED OVER OVERHEAD PLUMBING.  
BLDG. A-5 ROOF IS DRY SHEETED; PLUMBING AND ELECTRICAL ROUGH-IN IN PROGRESS; SHINGLES STOCKED ON ROOF; HURRICANE CLIPS IN PLACE; SHIMS IN PROGRESS.

**COMPLEX B:**

BLDG. B-1 SHEETROCKED; SHINGLES COMPLETE; PAINT NEARLY COMPLETE.  
BLDG. B-2 INTERIOR PAINT IN PROGRESS; CABINETS STOCKED IN BLDG.; READY FOR COMPLETION OF EXT. PAINT.  
BLDG. B-3 TAPED AND TEXTURED, READY FOR PAINT BUILDING IS LOCKED AND SECURE.  
BLDG. B-4 SHEETROCK TAPED TAPING IN PROGRESS  
BLDG. B-5 BUILDING IS LOCKED AND SECURE; READY FOR SHINGLES.

COMPLEX C:

BLDG. C-3 FIRST FLOOR FRAMED

BLDG. C-4 NO CHANGE

BLDG. C-5 FRAMING OF EXTERIOR WALLS IS IN  
PROGRESS

OFFICE/LAUNDRY BLDG.: ROOF IS DRY SHEETED;  
SHINGLES STACKED ON ROOF; SIDING ESSENTIALLY  
COMPLETE; INSTALLATION OF HURRICANE CLIPS IS IN  
PROGRESS; SHIMS IN PROGRESS; BUILDING IS  
CURRENTLY FILLED WITH CABINETS.

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS CONTINUING.

STORAGE BUILDINGS: FOOTINGS AND FOUNDATIONS HAVE  
BEEN POURED FOR ALL THREE STORAGE BUILDINGS.

SITE: A COMPLEX - PARKING AREAS HAVE BEEN CUT;  
NORTH PARKING CURBS AND WALKS ARE POURED

SITE: B COMPLEX - CONCRETE CURBS AND WALKS HAVE  
BEEN POURED AT EAST AND WEST PARKING LOTS

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING IS PROGRESSING AT COMPLEX A; INSULATION  
AND SHEETROCKING HAVE BEGUN AT COMPLEX A. FINISHES ARE  
CONTINUING AT COMPLEX B. WORK ON SOFFITS IS READY TO BEGIN.  
ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK  
PROGRESSES.

ACTION REQUIRED: 1) CONTRACTOR IS INSTALLING HARDWOOD SHIMS  
WHEREVER GAPS EXIST BETWEEN HEADERS AND TRIMMERS. ARCHITECT WAS  
ADVISED BEFORE SHEETROCKING BEGAN IN BUILDING A-4.

2) AT COMPLEX A ASSURE THAT GYPSUM BOARD IS INSTALLED ON  
PARTY WALLS PRIOR TO SETTING SHOWERS.

3) BUILDING A-4 ASSURE THAT ATTIC INSULATION STOPS ARE  
INSTALLED TO PROVIDE 2" FREE VENT AREA BETWEEN INSULATION STOP  
AND SHEATHING.

4) BUILDING B-2 CHECK INTERIOR PAINT FOR COVERAGE; ASSURE  
THE PROPER NUMBER OF COATS ARE BEING APPLIED.

5) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT;  
UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR WILL CORRECT  
THIS BUILDING WHEN BROKEN WINDOWS ARE REGLAZED. THERE ARE NOW AT  
LEAST SIX BROKEN WINDOWS ON SITE.

6) EXTERIOR SIDING AT COMPLEX B WILL BE A SINGLE COLOR.  
COLORS WILL BE CORRECTED TO CONFORM WITH APPROVED COLOR SCHEDULE.

7) CHECK SPACING OF SCREWS IN GYP. BD., TYPICAL ALL UNITS AT COMPLEX A.

8) ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ROOF VENTS AS INDICATED ON THE DRAWINGS. ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS PANELS.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be "D. Miller", is written over the signature line.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWENTY-TWO  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: SEPTEMBER 9, 1992  
TIME: 3:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 80 DEGREES  
PRESENT ON SITE: WORK IS STOPPED FOR THE DAY  
TED PARROTT

WORK IN PROGRESS:

COMPLEX A:

BLDG. A-1 SETTING ELECT. BOXES; FINISHING FRAMING, SHIMS AT HEADERS IN PLACE. SHIMS ALSO REQ'D. AT INTERIOR LOAD-BEARING HEADERS  
BLDG. A-2 SHINGLES STOCKED ON ROOF; SIDING COMPLETE; ELECTRICAL & PLUMBING ROUGH-IN IN COMPLETE; SHIMS IN PLACE; ESSENTIALLY READY FOR GYP. BD.  
BLDG. A-3 ROOF IS SHEATHED; HURRICANE CLIPS IN PLACE; SHIMS IN PROGRESS; PLUMBING AND ELECTRICAL ROUGH-IN IN PROGRESS. SHIMS ALSO REQUIRED AT INTERIOR LOAD-BEARING HEADERS.  
BLDG. A-4 ROOFING HAS BEGUN; SIDING COMPLETE; WALLS SHEETROCKED.  
BLDG. A-5 BUILDING IS SHEETROCKED.

COMPLEX B:

BLDG. B-1 SHEETROCKED; READY FOR INTERIOR PRIMER  
BLDG. B-2 INTERIOR PAINT IN PROGRESS; SECOND COAT IS NEEDED; CABINETS STOCKED IN BLDG.; EXTERIOR IS PAINTED; INSTALLATION OF FASCIA AND SOFFITS HAS BEGUN.  
BLDG. B-3 TAPED AND TEXTURED, INTERIOR AND EXTERIOR HAS FIRST COAT OF PAINT.  
BLDG. B-4 SHEETROCK TAPED AND PAINTED EXTERIOR READY FOR PAINT  
BLDG. B-5 INTERIOR PAINTED; APPEARS TO BE READY FOR FINISH CARPENTRY AND INSTALLATION OF FINISHES.

COMPLEX C:

BLDG. C-3 SIDING IN PROGRESS  
BLDG. C-4 READY FOR FRAMING TO BEGIN  
BLDG. C-5 SETTING TRUSSES IN PROGRESS

OFFICE/LAUNDRY BLDG.: NO CHANGE

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS CONTINUING.

STORAGE BUILDINGS: FRAMING HAS BEGUN

SITE: A COMPLEX - PARKING AREAS HAVE BEEN CUT;  
PARKING CURBS AND WALKS ARE POURED

SITE: B COMPLEX - CONCRETE CURBS AND WALKS HAVE  
BEEN POURED

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING IS PROGRESSING AT COMPLEX A; INSULATION  
AND SHEETROCKING HAVE BEGUN AT COMPLEX A. FINISHES ARE  
CONTINUING AT COMPLEX B. WORK ON SOFFITS IS READY TO BEGIN.  
ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK  
PROGRESSES.

ACTION REQUIRED: 1) CONTRACTOR IS INSTALLING HARDWOOD SHIMS  
WHEREVER GAPS EXIST BETWEEN HEADERS AND TRIMMERS. ARCHITECT WAS  
ADVISED BEFORE SHEETROCKING BEGAN IN BUILDING A-2.

2) AT COMPLEX A GYPSUM BOARD IS INSTALLED ON PARTY WALLS  
PRIOR TO SETTING SHOWERS.

3) BUILDING A-4 ASSURE THAT ATTIC INSULATION STOPS ARE  
INSTALLED TO PROVIDE 2" FREE VENT AREA BETWEEN INSULATION STOP  
AND SHEATHING.

4) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT;  
UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR WILL CORRECT  
THIS BUILDING WHEN BROKEN WINDOWS ARE REGLAZED. THERE ARE NOW AT  
LEAST SIX BROKEN WINDOWS ON SITE.

5) EXTERIOR SIDING AT COMPLEX B WILL BE A SINGLE COLOR.  
COLORS HAVE BEEN CORRECTED TO CONFORM WITH APPROVED COLOR  
SCHEDULE.

INSPECTION REPORT NUMBER TWENTY-TWO  
Page 3 of 3

6) CHECK SPACING OF SCREWS IN GYP. BD., TYPICAL ALL UNITS AT COMPLEX A.

8) ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ROOF VENTS AS INDICATED ON THE DRAWINGS. ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS PANELS.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWENTY-THREE  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: SEPTEMBER 15, 1992  
TIME: 5:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE: WORK IS STOPPED FOR THE DAY

WORK IN PROGRESS:

COMPLEX A:

BLDG. A-1 UPPER ROOF DRY SHEETED; PLUMBING &  
ELECTRICAL ROUGH-IN IN PROGRESS.  
BLDG. A-2 DRY SHEETED; SHEETROCKED.  
BLDG. A-3 DRY SHEETED; INSULATION IN  
PROGRESS; PREPARATIONS IN PLACE FOR ENTRY  
SLABS.  
BLDG. A-4 PREP FOR ENTRY DECKS; TAPING IN  
PROGRESS.  
BLDG. A-5 DRY SHEETED; FORMING DECKS;  
SHEETROCKED AND TAPED.

COMPLEX B:

BLDG. B-1 SOFFITS AND TRIM IN PROGRESS;  
INTERIOR TEXTURED.  
BLDG. B-2 TAPED, TEXTURED, PAINTED; HANGING  
INTERIOR DOORS AND INTERIOR TRIM IN  
PROGRESS; SOFFITS AND TRIM IN PROGRESS.  
BLDG. B-3 TAPED, TEXTURED, PAINTED; READY FOR  
INTERIOR TRIM; EXTERIOR PARTIALLY PAINTED.  
BLDG. B-4 TAPED, TEXTURED, PAINTED; READY  
FOR EXTERIOR PAINT.  
BLDG. B-5 TAPED, TEXTURED, PAINTED; READY FOR  
INTERIOR TRIM. EXTERIOR READY FOR SOFFITS  
AND FASCIA.

COMPLEX C:

BLDG. C-3 SIDING IN PROGRESS

BLDG. C-4 BACKFILLED

BLDG. C-5 TRUSSES SET; WINDOWS SET; TEMPERED  
WINDOWS IN PLACE WHERE REQUIRED.

OFFICE/LAUNDRY BLDG.: NO CHANGE

MASONRY BUILDINGS: REMOVAL OF EXISTING  
ROOFING AND REROOFING IS CONTINUING.

STORAGE BUILDINGS: EAST BUILDING IS SIDED; ROOF  
SHEATHING; OPENINGS SECURED WITH PLYWOOD. CENTER  
BUILDING IS SIDED; TRUSSES SET. WEST BUILDING IS  
FRAMED.

SITE: A COMPLEX - PARKING AREAS HAVE BEEN CUT;  
PARKING CURBS AND WALKS ARE POURED

SITE: B COMPLEX - CONCRETE CURBS AND WALKS HAVE  
BEEN POURED

SITE: C COMPLEX - PARKING AREAS HAVE BEGUN; EAST  
PARKING AREA CURBS AND WALKS ARE POURED.

OBSERVATIONS: WORK IS CONTINUING ON SITE. OVERALL QUALITY OF  
THE WORK IS GOOD. FRAMING IS PROGRESSING AT COMPLEX A;  
INSULATION, SHEETROCKING AND TAPING ARE IN PROGRESS AT COMPLEX A.  
FINISHES ARE CONTINUING AT COMPLEX B. WORK ON SOFFITS IS  
UNDERWAY. CONTRACTOR HOPES FOR PUNCH LIST INSPECTION AT COMPLEX B  
LATE SEPTEMBER/EARLY OCTOBER.  
ANCHOR BOLTS AND SILL PLATE ANCHORS ARE BEING INSTALLED AS WORK  
PROGRESSES.

ACTION REQUIRED: 1) CONTRACTOR IS INSTALLING HARDWOOD SHIMS  
WHEREVER GAPS EXIST BETWEEN HEADERS AND TRIMMERS. ARCHITECT TO BE  
ADVISED BEFORE SHEETROCKING BEGINS IN EACH BUILDING.

2) SHIMS ARE NEEDED IN BUILDINGS C-3 AND C-5.

3) BUILDING A-4 ASSURE THAT ATTIC INSULATION STOPS ARE  
INSTALLED TO PROVIDE 2" FREE VENT AREA BETWEEN INSULATION STOP  
AND SHEATHING.

4) TEMPERED GLASS HAS BEEN CORRECTED AT ALL BUT ONE UNIT;  
UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR WILL CORRECT  
THIS BUILDING WHEN BROKEN WINDOWS ARE REGLAZED. THERE ARE NOW AT  
LEAST SIX BROKEN WINDOWS ON SITE.

INSPECTION REPORT NUMBER TWENTY-THREE

Page 3 of 3

5) ASSURE THAT GYP. BD. IS INSTALLED AT PARTY WALLS OF BUILDING C-3 PRIOR TO SETTING TUBS/SHOWERS.

8) ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ROOF VENTS AS INDICATED ON THE DRAWINGS. ASSURE THAT LOW ROOFS OF TWO STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS PANELS.

9) ASSURE THAT DENSE BOARD IS INSTALLED AT ALL TWO STORY DWELLINGS PRIOR TO INSTALLATION OF FLOOR COVERING, IN ACCORD WITH CHANGE ORDER.

10) ASSURE THAT ALL DOORS/HALLWAYS/PASSAGES IN SINGLE STORY BUILDINGS ARE NOT LESS THAN THREE FEET CLEAR.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

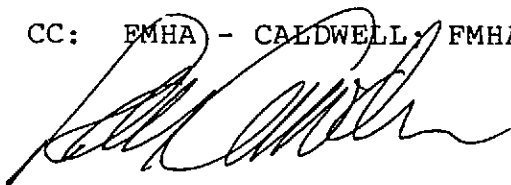
PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH AS INSULATION/CAULKING BEGIN AT COMPLEX B.

ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

ASSURE THAT REQUIRED VENTS LOCATED IN BEDROOM CLOSETS ARE VENTED TO THE EXTERIOR AS INDICATED ON THE DRAWINGS.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR

A handwritten signature in black ink, appearing to be a stylized name, is written over the CC line.



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N COLE ROAD • SUITE 280 • BOISE, IDAHO 83704

(208) 377-2870

FAX (208) 322-5886

INSPECTION NO.: TWENTY-FOUR  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: SEPTEMBER 22, 1992  
TIME: 1:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE: TED PARROTT; INSULATORS; PLUMBERS;  
ELECTRICIANS; SHEETROCKERS

WORK IN PROGRESS:

COMPLEX A:

- BLDG. A-1: INSULATING LOW ROOF AREA; INSULATING BEHIND SHOWER
- BLDG. A-2: DECKS FORMED, READY FOR POUR; SHEETROCKED AND TAPED, PREPARING FOR PAINT; SHINGLES BEGUN
- BLDG. A-3: INSULATING WALLS; INSTALLING VAPOR BARRIERS; SHEETROCKING IN PROGRESS; ROOF IS DRY SHEETED
- BLDG. A-4: WALLS TAPED AND TEXTURED, READY FOR PAINT; BEGINNING INTERIOR AND EXTERIOR PAINT.
- BLDG. A-5: EXTERIOR PAINT HAS BEGUN; ROOF DRY SHEETED; TAPED AND TEXTURED, BEGINNING INTERIOR PAINT.

COMPLEX B:

- BLDG. B-1 AND B-2: FINISHED CARPENTRY IN PROGRESS, HANGING DOORS AND INSTALLING CABINETS. FASCIA AND SOFFITS ESSENTIALLY COMPLETE.
- BLDG. B-3: READY FOR INTERIOR TRIM; FASCIA AND SOFFITS NEARLY COMPLETE
- BLDG. B-4: READY FOR INTERIOR PAINT, SOFFITS AND FASCIA
- BLDG. B-5: READY FOR FINISHED CARPENTRY; FASCIA AND SOFFITS NEARLY COMPLETE.

COMPLEX C:

- BLDG. C-3: PLUMBING ROUGH-IN IS IN PROGRESS; SIDING, ROOF SHEATHING; PLY-CLIPS ARE INSTALLED; SHIMS ARE BEING INSTALLED.
- BLDG. C-4: DRY SHEETING ROOF; SIDING AND WINDOWS IN PLACE; PLY-CLIPS AND HURRICANE CLIPS INSTALLED; TEMPERED GLASS INSTALLED AS REQUIRED; GYP BD. INSTALLED AT PARTY WALLS BEHIND TUB/SHOWERS AS REQUIRED; SHIMS ARE BEING INSTALLED; ELECTRICAL ROUGH-IN IS IN PROGRESS
- BLDG. C-4: BACKFILLING; UNDERSLAB PLUMBING IN PLACE.

INSPECTION REPORT NO. TWENTY-FOUR (continued)  
Page 2 of 2

OFFICE/LAUNDRY BUILDING: NO CHANGE

MASONRY BUILDINGS: ROOFING IS NEARING COMPLETION

STORAGE BUILDINGS: ALL BUILDINGS HAVE BEEN SIDED AND HAVE ROOF SHEATHING INSTALLED. EAST BUILDING HAS BEEN SHEETROCKED AND STORAGE CUBICLES ARE NEARING COMPLETION. CENTER BUILDING IS SHEETROCKED AND TAPED; WEST BUILDING - SHEETROCKING IS IN PROGRESS.

PARKING: PREPARATION OF PARKING AREAS IS CONTINUING; AREAS ARE BEING COMPACTED USING ROLLER.

OBSERVATIONS: CONTRACTOR IS TENTATIVELY SCHEDULING PUNCH LIST INSPECTION AND DRAW INSPECTION FOR SOMETIME NEXT WEEK. RE-ROOFING AT MASONRY BUILDINGS SHOULD BE ESSENTIALLY COMPLETE BY THAT TIME. COMPLEX B IS EXPECTED TO BE READY FOR OCCUPANCY EARLY IN OCTOBER.

IT IS NOTED THAT CABINETS ARE NOT THE STYLE REQUESTED BY THE OWNER. ALTHOUGH QUALITY AND CONSTRUCTION IS EQUAL TO THAT SPECIFIED, STYLE IS WHITE MELAMINE RATHER THAN REQUESTED WOOD GRAIN VINYL. ARCHITECT WILL WORK WITH OWNER AND CONTRACTOR TO CONSIDER APPROPRIATE COURSE OF ACTION.

ACTION REQUIRED: ASSURE THAT HURRICANE CLIPS ARE INSTALLED ON SECOND FLOOR ROOF TRUSSES IN COMPLEX A. ASSURE THAT INSULATION IS PLACED BEHIND SHOWER/TUB ALONG EXTERIOR WALLS IN ALL LOCATIONS IN COMPLEX A. CHECK INSULATION STOPS IN ATTICS OF ALL BUILDINGS TO ASSURE THAT 2" FREE VENT AREA IS PROVIDED. ASSURE THAT DENSE BOARD IS INSTALLED ON SECOND FLOOR OF ALL TWO STORY BUILDINGS PRIOR TO INSTALLATION OF FLOORING. ASSURE THAT LOW ROOFS OF TWO-STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS.

SEE ALSO TYPICAL ACTION REQUIRED ITEMS FROM PREVIOUS REPORTS.

CC: FmHA - Caldwell; FmHA - State; Owner; Contractor

A handwritten signature in black ink, appearing to be "R. Caldwell", written over a horizontal line.

WHITE ENGINEERS  
1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Congregational Housing FIELD REPORT NO:  
Caldwell, Idaho  
CONTRACT: Mechanical PROJECT NO:

DATE 9/16/92 TIME WEATHER TEMP. RANGE

EST. % OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

Jack

Fire Sprinkling

OBSERVATIONS Contractor

1. Water piping and fire sprinkler piping installation is progressing in the east wings. Note was taken that some vandalism has occurred as far cutting piping and conduit. When the water piping installation is complete a water test must be made on this piping at a pressure of 100 psi for at least 24 hours in order to determine if there are any leaks in the piping or piping connections.
2. Discussions were held with the fire sprinkler contractor concerning the type of heads to be used in each area. Riley Hill will have to be contacted to make final decision on these conversations.
3. Waste line rough-in is 100% complete and water piping should be started in the west wing fairly soon.
4. No utility lines have been connected to the mains as of yet.
5. Submittal of the H.V.A.C. equipment shall be made to this office as soon as possible. This work needs to be progressing at this time.

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

# WHITE ENGINEERS

1707 LINDA VISTA LANE

BOISE, IDAHO 83704

(208)375-3581

PROJECT: Congregational Housing  
Caldwell, Idaho

FIELD REPORT NO:

CONTRACT: Mechanical

PROJECT NO:

DATE 9/16/92 TIME WEATHER TEMP. RANGE

EST. % OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

Jack

Fire Sprinkling

OBSERVATIONS Contractor

1. Water piping and fire sprinkler piping installation is progressing in the east wings. Note was taken that some vandalism has occurred as far cutting piping and conduit. When the water piping installation is complete a water test must be made on this piping at a pressure of 100 psi for at least 24 hours in order to determine if there are any leaks in the piping or piping connections.
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4. No utility lines have been connected to the mains as of yet.
5. Submittal of the H.V.A.C. equipment shall be made to this office as soon as possible. This work needs to be progressing at this time.

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE ROAD • SUITE 280 • BOISE, IDAHO 83704

(208) 377-2870

FAX (208) 322-5886

INSPECTION NO.: TWENTY-FIVE  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: OCTOBER 1, 1992  
TIME: 10:30 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 85 DEGREES  
PRESENT ON SITE: TED PARROTT; INSULATORS; PLUMBERS;  
ELECTRICIANS; SHEETROCKERS

**WORK IN PROGRESS:**

**COMPLEX A:**

BLDG. A-1: BUILDING HAS BEEN SHEETROCKED; TAPING IN  
PROGRESS  
BLDG. A-2: BUILDING IS SHEETROCKED, TAPED, TEXTURED AND  
PAINTED, PREPARING FOR PAINT; ROOFING COMPLETE  
BLDG. A-3: WALLS SHEETROCKED AND TAPED.  
BLDG. A-4: WALLS TAPED, TEXTURED AND PAINTED.  
WORK ON SOFFITS HAS BEGUN. ROOFING COMPLETED.  
BLDG. A-5: ROOFING IN PROGRESS  
ALL COMPLEX A BUILDINGS HAVE BEEN PAINTED AND TRIMMED.  
COMPLEX A PARKING HAS BEEN ASPHALT SURFACED

**COMPLEX B:**

BLDG. B-1 AND B-2: CABINETS HAVE BEEN SET, READY FOR  
COUNTERTOPS; READY FOR APPLIANCES, LIGHT FIXTURES  
AND PLUMBING FIXTURES TO BE SET; VINYL FLOORING IN  
PROGRESS  
BLDG. B-3 AND B-4: INTERIOR DOORS HUNG; READY FOR  
CABINETS TO BE SET  
BLDG. B-5: SETTING CABINETS; DOORS HUNG  
ALL COMPLEX A BUILDINGS: EXTERIOR PAINT, SOFFITS,  
FASCIA AND TRIM ESSENTIALLY COMPLETE  
COMPLEX B PARKING HAS BEEN ASPHALT SURFACED  
COMPLEX B SIDEWALKS NEARING COMPLETION; FINISH GRADING  
IN PROGRESS

**COMPLEX C:**

BLDG. C-3: PLUMBING ROUGH-IN IS COMPLETE; ELECTRICAL  
ROUGH-IN IS IN PROGRESS; ROOF IS PARTIALLY DRY  
SHEETED; SHIMS ARE BEING INSTALLED.  
BLDG. C-5: DRY SHEETING ROOF; SIDING AND WINDOWS IN  
PLACE; PLUMBING ROUGH-IN COMPLETE; ELECTRICAL  
ROUGH-IN IS IN PROGRESS  
BLDG. C-4: SLABS POURED; SILL PLATES BEING LAID OUT.



INSPECTION REPORT NO. TWENTY-FOUR (continued)  
Page 2 of 2

OFFICE/LAUNDRY BUILDING: NO CHANGE

MASONRY BUILDINGS: ROOFING IS NEARING COMPLETION

STORAGE BUILDINGS: ALL BUILDINGS HAVE BEEN SIDED AND HAVE ROOF SHEATHING INSTALLED. EAST BUILDING HAS BEEN SHEETROCKED AND STORAGE CUBICLES ARE NEARING COMPLETION. CENTER BUILDING IS SHEETROCKED AND TAPED; WEST BUILDING - SHEETROCKED. ALL BUILDINGS ARE FULLY ENCLOSED AND SECURED

OBSERVATIONS: CONTRACTOR'S DRAW REQUEST WAS REVIEWED AND RECOMMENDED FOR APPROVAL. ARCHITECT EXPECTS COMPLEX B TO BE READY FOR PUNCH LIST INSPECTION DURING THE WEEK OF OCTOBER 12, WITH FINAL INSPECTION DURING THE WEEK OF OCTOBER 19. ARCHITECT WILL ADVISE OWNER AS TIMES BECOME MORE CERTAIN.

CABINETS AS INSTALLED WILL BE ACCEPTED BY THE OWNER. IF PROPOSED COMPLEX D IS APPROVED, CABINETS ON THAT COMPLEX ARE TO BE THE SAME STYLE AS THAT CURRENTLY USED IN THE COMPLEX A, B AND C.

ACTION REQUIRED: ASSURE THAT BACKING IS INSTALLED FOR ADA REQUIRED GRAB BARS IN ALL SINGLE STORY BUILDINGS. VERIFY THAT THIS IS DONE ON COMPLEX C BUILDINGS. CHECK INSULATION STOPS IN ATTICS OF ALL BUILDINGS TO ASSURE THAT 2" FREE VENT AREA IS PROVIDED. ASSURE THAT DENSE BOARD IS INSTALLED ON SECOND FLOOR OF ALL TWO STORY BUILDINGS PRIOR TO INSTALLATION OF FLOORING. ASSURE THAT LOW ROOFS OF TWO- STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS.

SEE ALSO TYPICAL ACTION REQUIRED ITEMS FROM PREVIOUS REPORTS.

CC: FmHA - Caldwell; FmHA - State; Owner; Contractor

WHITE ENGINEERS  
1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing  
Caldwell, Idaho  
CONTRACT: Mechanical

FIELD REPORT NO:

PROJECT NO:

DATE 9/23/92 TIME WEATHER TEMP. RANGE

EST. % OF COMPLETION CONFORMANCE WITH SCHEDULE (+, -)

WORK IN PROGRESS PRESENT AT SITE White

Albrecht

Parot

## OBSERVATIONS

1. Discussions were held with the mechanical and general contractor concerning the three additional units to be added to the project. Grades were discussed and it appears that the waste lines will be able to be connected with the proper grading.
2. Note was taken that the water and waste line stubouts for these three buildings are in a different location than shown on my preliminary drawings. These drawings will be revised and sent to the architect.
3. A 6" water line was brought across to the project and future discussions will determine whether a fire hydrant is required. At this point I am not showing a fire hydrant.
4. Due to the additional amount of sewage in the project, the screen box construction was discussed. It appears that it is a rather sluggish flow due to buildup in the screen box. I will review the existing drawings on this screen box construction to see if it will be necessary to modify it.

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE ROAD • SUITE 280 • BOISE, IDAHO 83704

(208) 377-2870

FAX (208) 322-5886

INSPECTION NO.: TWENTY-SIX  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: OCTOBER 6, 1992  
TIME: 4:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 70 DEGREES  
PRESENT ON SITE: WORK WAS STOPPED FOR THE DAY

WORK IN PROGRESS:

COMPLEX A:

BLDG. A-1: BUILDING HAS BEEN TAPED; SHINGLES ARE STOCKED ON ROOF; READY FOR ROOFING  
BLDG. A-2: BUILDING IS SHEETROCKED, TAPED, TEXTURED AND PAINTED, PREPARING FOR PAINT; ROOFING COMPLETE  
BLDG. A-3: BUILDING HAS BEEN TAPED; SHINGLES ARE STOCKED ON ROOF; READY FOR ROOFING  
BLDG. A-4: WALLS TAPED, TEXTURED AND PAINTED. FINISH CARPENTRY HAS BEGUN; WORK ON SOFFITS HAS BEGUN. ROOFING COMPLETED.  
BLDG. A-5: ROOFING COMPLETE; WALLS TAPED, TEXTURED, PAINTED.  
ALL COMPLEX A BUILDINGS HAVE BEEN PAINTED AND TRIMMED.  
COMPLEX A PARKING HAS BEEN ASPHALT SURFACED

COMPLEX B:

BLDG. B-1 AND B-2: CABINETS TOPS HAVE BEEN SET, VINYL FLOORING AND BASE COMPLETE; PLUMBING FIXTURES BEING SET  
BLDG. B-3: GUTTERS AND DOWNSPOUTS INSTALLED; DENSE BOARD INSTALLED ON UPPER LEVELS; CABINETS BEING SET  
BLDG. B-4: INTERIOR DOORS HUNG; SOFFITS IN PROGRESS  
BLDG. B-5: PLASTIC LAMINATE TOPS AND VINYL FLOORS IN PROGRESS; ROOFING NEARLY COMPLETE  
ALL COMPLEX A BUILDINGS: EXTERIOR PAINT, SOFFITS, FASCIA AND TRIM ESSENTIALLY COMPLETE  
COMPLEX B PARKING HAS BEEN ASPHALT SURFACED  
COMPLEX B SIDEWALKS NEARING COMPLETION; FINISH GRADING IN PROGRESS

INSPECTION REPORT NO. TWENTY-SIX (continued)

Page 2 of 2

COMPLEX C:

BLDG. C-3: PLUMBING ROUGH-IN IS COMPLETE; ELECTRICAL ROUGH-IN IS IN PROGRESS; ROOF IS PARTIALLY DRY SHEETED; SHIMS ARE BEING INSTALLED.

BLDG. C-5: DRY SHEETING ROOF; SIDING AND WINDOWS IN PLACE; PLUMBING AND ELECTRICAL ROUGH-IN COMPLETE; WALLS ARE INSULATED; BEGINNING SHEETROCK

BLDG. C-4: FRAMING HAS BEGUN ON FIRST FLOOR.

OFFICE/LAUNDRY BUILDING: LOCKED; UNABLE TO INSPECT

MASONRY BUILDINGS: ROOFING IS NEARING COMPLETION

STORAGE BUILDINGS: ALL BUILDINGS HAVE BEEN SIDED AND DRY SHEETED. ALL BUILDINGS ARE SHEETROCKED AND TAPED; STORAGE CUBICLES ARE ESSENTIALLY COMPLETE.

OBSERVATIONS: ARCHITECT EXPECTS COMPLEX B TO BE READY FOR PUNCH LIST INSPECTION DURING THE WEEK OF OCTOBER 12, WITH FINAL INSPECTION DURING THE WEEK OF OCTOBER 19. ARCHITECT WILL ADVISE OWNER AS TIMES BECOME MORE CERTAIN.

ACTION REQUIRED:

\* ASSURE THAT BACKING IS INSTALLED FOR ADA REQUIRED GRAB BARS IN ALL SINGLE STORY BUILDINGS. VERIFY THAT THIS IS DONE ON COMPLEX C BUILDINGS WHERE BACKING HAS NOT BEEN INSTALLED.

\* CHECK INSULATION STOPS IN ATTICS OF ALL BUILDINGS TO ASSURE THAT 2" FREE VENT AREA IS PROVIDED. ASSURE THAT DENSE BOARD IS INSTALLED ON SECOND FLOOR OF ALL TWO STORY BUILDINGS PRIOR TO INSTALLATION OF FLOORING. ASSURE THAT LOW ROOFS OF TWO-STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS.

\* IMPROPER SHOWER HEAD HAS BEEN INSTALLED IN HANDICAPPED UNIT OF COMPLEX B

\* LEVER-TYPE DOOR HARDWARE IS REQUIRED AT INTERIOR AND EXTERIOR OF ALL SINGLE STORY BUILDINGS

\* ASSURE THAT REMOVABLE BASE CABINETS ARE PROVIDED AS REQUIRED AT HANDICAPPED DWELLING UNITS

\* ASSURE THAT GRAB BARS AS REQUIRED ARE INSTALLED AT ALL HANDICAPPED DWELLING UNITS

\* ASSURE THAT HANDICAPPED ACCESS RAMPS ARE PROVIDED AS REQUIRED FROM ALL PARKING LOTS

\* ASSURE THAT HOLES CUT FOR VENTING THROUGH TRUS JOIST MEMBERS ARE LOCATED AS REQUIRED BY MFG AND DO NOT EXCEED MFG RECOMMENDATIONS

SEE ALSO TYPICAL ACTION REQUIRED ITEMS FROM PREVIOUS REPORTS.

CC: FmHA - Caldwell; FmHA - State; Owner; Contractor



October 1, 1992  
Page # 1 of 1  
Report # B92126-022

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: Daily Inspection Report performed on 09-18-92  
Caldwell Farm Labor Housing  
Greg Skipper, Inspector

Gentlemen:

Inspector arrived onsite and proceeded to engage nuclear densometer tests on area #1 and #2. Area #1 passed and area #2, 3 and 4 were failing. Moisture was far too low (only 2% to 3%). Inspector informed laborers that additional water and rolling was needed. Inspector said he would return in the afternoon to finish tests. Inspector returned later to site and started re tests. All areas passed except for area #5.

If you have any questions concerning this report, or if MTC can be of any further assistance, please call us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

David O. Cram  
Division Manager



# MATERIALS TESTING CORPORATION

October 1, 1992  
Page # 1 of 1  
Report # B92126-021

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: In-Place Density Test Results performed on 09-18-92  
Caldwell Farm Labor Housing  
Greg Skipper, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	Parking area #1, north half.	4.0	124.4	A	95
2	Parking area #1, south half.	2.7	126.3	A	96
3	Parking area #2, north half.	4.5	126.1	A	96
4	Parking area #3, northwest half.	4.3	125.0	A	95
5	Parking area #3, southwest half.	3.8	125.5	A	95
6	Parking area #4, southeast half.	5.9	125.0	A	95
7	Parking area #4, northwest half.	3.9	124.4	A	95
8	Parking area #5, middle.	2.7	122.9	A	93

Required Compaction: 95%

Material Type: A: 131.6 @ 8.0%, On Site Fill

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
David O. Cram  
Division Manager



October 1, 1992  
Page # 1 of 1  
Report # B92126-023

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: In-Place Density Test Results performed on 09-23-92  
Caldwell Farm Labor Housing  
Greg Skipper, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	Area 5, 22' south of middle.	5.6	123.3	A	94


Test #	Location	Wet Density	Maximum Density	Percent Compaction
1	Area #1, 40' southeast of center.	135.3	139.5	97
2	Area #1, 10' southeast of center.	135.3	139.5	97
3	Area #1, 50' north of center.	137.9	139.5	99

Required Compaction: 95%

Material Type: A: 131.6 @ 8.0%, On Site Fill  
Asphalt 139.5

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

  
David O. Cram  
Division Manager



OCT 06 1992

October 1, 1992  
Page # 1 of 1  
Report # B92126-024

RUSSELL CORPORATION  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704

Attention: Stan Janes

Re: In-Place Density Test Results performed on 09-24-92  
Caldwell Farm Labor Housing  
Dave Cram, Inspector

Gentlemen:

As requested, M.T.C. performed on-site density testing in accordance with current applicable standards. The results obtained were as follows:

Test #	Location	Percent Moisture	Dry Density	Material Type	Percent Compaction
1	Retest of section #5, 5' east, 39' north of the southeast corner of parking area.	4.4	124.6	A	95
2	Retest of section #5, center line of road, 27' east of the southeast corner of parking area.	3.6	125.5	A	95

Required Compaction: 95%

Material Type: A: 131.6 @ 8.0%, On Site Fill

If you have any questions concerning the test results, the procedures used, or if MTC can be of any further assistance, please call on us at (208) 376-4748.

Respectfully Submitted,  
MATERIALS TESTING CORPORATION

David O. Cram  
Division Manager



WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 280 OCT 06 1992  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste 280  
Boise, ID 83704

DATE	10/01/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	Russell Corp	OWNER	CHA
WEATHER		TEMP.	_____ at 8:30 AM _____ at _____ PM
PRESENT AT SITE			
Contractors			

THE FOLLOWING WAS NOTED:

Page 1 of 2

1. Install wall boxes according to NEC 370-10.  
Wall boxes not flush with finished wall.
2. Panels not wired in S.E. units. Sheet rock taping & texturing being performed.
3. Receptacle locations vary from plan callout in kitchen & bath areas.
4. Finished receptacles not all flush with plates.
5. GFI receptacles not provided in sink areas as indicated.
6. Cabinets, floor covering, doors, receptacles & switches (some panels wired no light fixtures installed) being installed in N.W. units.
7. 3-bedroom unit breaker usage not according to panel schedule.
8. Metal boxes not securely fastened in West units (wire staples being used).
9. Romex not supported per NEC 336.15.
10. Feeder cables through wood members not protected per NEC 300-4.
11. Lights conflict with overhead doors in storage room. Contractor to relocate to clear doors.

Copies to Russell Corp.  
Smith Electric

F I E L D R E P O R T

Signed

*Jim per Smith*

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995, N. Cole Road, Ste 280  
Boise ID 83704

THE FOLLOWING WAS NOTED:

DATE	10/01/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	Russell Corp.	OWNER	CHA
WEATHER		TEMP.	_____ at 8:30 AM _____ at _____ PM
PRESENT AT SITE			
Contractors			

Page 2 of 2

12. Laundry storage area being roughed-in and insulated.
13. Wall has been eliminated between Mail Room & Recept./Mail Room.  
Mail Room lights to be rotated 90 degrees and aligned with Reception Area fixtures.
14. Circumferential pressure connectors have not been installed on aluminum conductors.
15. Meter bank circuit breakers are not replaced with required fault current ratings.
16. Laundry/Storage Building main panel, Panel A, Panel D, and telephone terminal board may be relocated to the exterior wall as discussed.

Copies to Russell Corp.  
Smith Electric

F I E L D R E P O R T

Signed

*Jim R. Smith*



## WHITE ENGINEERS

1707 LINDA VISTA LANE

BOISE, IDAHO 83704

(208)375-3581

PROJECT: Farmway Housing  
Caldwell, Idaho  
CONTRACT: Mechanical

FIELD REPORT NO:

PROJECT NO:

DATE 10/1/92 TIME WEATHER TEMP. RANGE  
EST. % OF COMPLETION CONFORMANCE WITH SCHEDULE  
WORK IN PROGRESS PRESENT AT SITE White

## OBSERVATIONS

1. Plumbing rough-in progressing in all units not yet complete.
2. Fixtures are ready to be set in the first set of units. A fixer with through of these units is scheduled for about the middle of October.
3. Apply duct tape on exhaust ducts at their connection to the roof in more timely fashion. Be sure to press it tight or it will not hold. Please check all these units.
4. Office/laundry room plumbing is essentially roughed-in.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

## ATTACHMENTS

REPORT BY:



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE ROAD • SUITE 280 • BOISE, IDAHO 83704

(208) 377-2870

FAX (208) 322-5886

INSPECTION NO.: TWENTY-SEVEN  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: OCTOBER 15, 1992  
TIME: 4:00 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: CLEAR, 65 DEGREES  
PRESENT ON SITE: WORK WAS STOPPED FOR THE DAY

WORK IN PROGRESS:

COMPLEX A:

ROOFING, SIDING, TRIM & EXTERIOR PAINT ESSENTIALLY  
COMPLETE AT ALL BLDGS.

BLDG. A-1: BUILDING HAS BEEN TAPED AND TEXTURED

BLDG. A-2: BUILDING IS PAINTED

BLDG. A-3: BUILDING HAS BEEN PAINTED

BLDG. A-4: WALLS TAPED, TEXTURED AND PAINTED. FINISH  
CARPENTRY IS IN PROGRESS; CABINETS ARE BEING SET

BLDG. A-5: ROOFING COMPLETE; WALLS TAPED, TEXTURED,  
PAINTED. FINISH CARPENTRY IN PROGRESS

COMPLEX A PARKING HAS BEEN ASPHALT SURFACED

COMPLEX B:

BLDG. B-1 AND B-2: CABINETS TOPS HAVE BEEN SET, VINYL  
FLOORING AND BASE COMPLETE; PLUMBING FIXTURES  
BEING SET; PATIO SCREENS BEING CONSTRUCTED.

BLDG. B-3: GUTTERS AND DOWNSPOUTS INSTALLED; DENSE  
BOARD INSTALLED ON UPPER LEVELS; CABINETS BEING  
SET

BLDG. B-4: INTERIOR DOORS HUNG; SOFFITS IN PROGRESS  
DENSE BOARD INSTALLED ON UPPER LEVELS; CABINETS  
BEING SET

BLDG. B-5: PLASTIC LAMINATE TOPS AND VINYL FLOORS IN  
COMPLETE; ROOFING NEARLY COMPLETE

ALL COMPLEX A BUILDINGS: EXTERIOR PAINT, SOFFITS,  
FASCIA AND TRIM ESSENTIALLY COMPLETE

COMPLEX B PARKING HAS BEEN ASPHALT SURFACED

COMPLEX B SIDEWALKS NEARING COMPLETION; FINISH GRADING  
IN PROGRESS

INSPECTION REPORT NO. TWENTY-SEVEN (Continued)

Page 2 of 2

COMPLEX C:

BLDG. C-3: PLUMBING ROUGH-IN IS COMPLETE; ELECTRICAL ROUGH-IN IS COMPLETE; ROOFING IN PROGRESS; WALLS BEING INSULATED; SHIMS ARE BEING INSTALLED. EXTERIOR WALLS PAINTED; TRIM PAINTED

BLDG. C-5: ROOFING IN PROGRESS; EXTERIOR WALLS AND TRIM PAINTED; PLUMBING AND ELECTRICAL ROUGH-IN COMPLETE; SHEETROCKING IN PROGRESS.

BLDG. C-4: FRAMING ON FIRST FLOOR IS NEARLY COMPLETE.

OFFICE/LAUNDRY BUILDING: LOCKED; UNABLE TO INSPECT

MASONRY BUILDINGS: ROOFING IS NEARING COMPLETION

STORAGE BUILDINGS: ALL BUILDINGS HAVE BEEN SIDED AND DRY SHEETED. ALL BUILDINGS ARE SHEETROCKED AND TAPED; STORAGE CUBICLES ARE ESSENTIALLY COMPLETE.

OBSERVATIONS: ARCHITECT EXPECTS COMPLEX B TO BE READY FOR PUNCH LIST INSPECTION DURING THE WEEK OF OCTOBER 19, WITH FINAL INSPECTION DURING THE WEEK OF OCTOBER 26. ARCHITECT WILL ADVISE OWNER AS TIMES BECOME MORE CERTAIN.

ACTION REQUIRED:

- \* ASSURE THAT BACKING IS INSTALLED FOR ADA REQUIRED GRAB BARS IN ALL SINGLE STORY BUILDINGS. VERIFY THAT THIS IS DONE ON COMPLEX C BUILDINGS WHERE BACKING HAS NOT BEEN INSTALLED.

- \* CHECK INSULATION STOPS IN ATTICS OF ALL BUILDINGS TO ASSURE THAT 2" FREE VENT AREA IS PROVIDED. ASSURE THAT DENSE BOARD IS INSTALLED ON SECOND FLOOR OF ALL TWO STORY BUILDINGS PRIOR TO INSTALLATION OF FLOORING. ASSURE THAT LOW ROOFS OF TWO-STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS.

- \* IMPROPER SHOWER HEAD INSTALLED IN HANDICAPPED UNIT OF COMPLEX B HAS BEEN CORRECTED.

- \* LEVER-TYPE DOOR HARDWARE HAS BEEN INSTALLED AT EXTERIOR DOORS OF ALL SINGLE STORY BUILDINGS

- \* ASSURE THAT REMOVABLE BASE CABINETS ARE PROVIDED AS REQUIRED AT HANDICAPPED DWELLING UNITS

- \* ASSURE THAT GRAB BARS AS REQUIRED ARE INSTALLED AT ALL HANDICAPPED DWELLING UNITS

- \* ASSURE THAT HANDICAPPED ACCESS RAMPS ARE PROVIDED AS REQUIRED FROM ALL PARKING LOTS

- \* ASSURE THAT HOLES CUT FOR VENTING THROUGH TRUS JOIST MEMBERS ARE LOCATED AS REQUIRED BY MFG AND DO NOT EXCEED MFG RECOMMENDATIONS

SEE ALSO TYPICAL ACTION REQUIRED ITEMS FROM PREVIOUS REPORTS.

CC: FmHA - Caldwell; FmHA - State; Owner; Contractor

**WHITE ENGINEERS**  
1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208) 375-3581

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<b>PROJECT:</b>	Farmway Housing Caldwell, Idaho	<b>FIELD REPORT NO:</b>	Final Inspection First Phase
<b>CONTRACT:</b>	Mechanical	<b>PROJECT NO:</b>	

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DATE	10/28/92	TIME	WEATHER	TEMP. RANGE
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EST. % OF COMPLETION	CONFORMANCE WITH SCHEDULE(+,-)
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WORK IN PROGRESS	PRESENT AT SITE
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**OBSERVATIONS**

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Unit 340:

1. Remove tape on kitchen sink waste lines and provide floor plates for for the waste lines.
2. Provide a box or enclose with an access panel around the water that was roughed-in out side of the wall.

Unit 334:

1. Remove the handle from the water service line.
2. Repair or replace the damaged tub in this unit.

Unit 330, 331, 322 & 323: Not complete.

Complete the installation of the fixtures and at that time further observation of these units will be held.

Unit 327:

1. Adjust the water closet for proper flushing.
2. Repair the supply fitting hole on the tub.
3. Provide the lavatory with a pop-up drain.

Unit 328:

1. Adjust the water service to the tub as it appears to have an extremely low pressure.
2. Adjust the pop-up on the lavatory for proper seal.

The following items apply to all units:

1. Provide kitchen sink strainers.
2. Remove all labels from fixtures and water heater.
3. Provide wall cover plates for all interior clean-outs.
4. Provide flush plate as specified for outside clean-outs on the concrete patios.
5. Check all fixtures as some need additional caulking.
6. Provide access panels for all water service lines to all units.
7. Reinstall water heater relief valves so that the piping does not have any traps.
8. Provide a letter to this office stating that proper disinfection of water lines has been accomplished.

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

REPORT BY:





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

INSPECTION NO.: TWENTY-EIGHT  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: OCTOBER 28, 1992  
TIME: 9:30 A.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: OVERCAST, 55 DEGREES  
PRESENT ON SITE: MISCELLANEOUS TRADES

**WORK IN PROGRESS:**

**COMPLEX A:**

BLDG. A-1: EXTERIOR NEARING COMPLETION; INTERIOR  
PAINTED, DOORS ARE BEING HUNG, DENSE BOARD IN  
PLACE AT UPPER LEVEL  
BLDG. A-2: EXTERIOR ESSENTIALLY COMPLETE; INTERIOR  
CABINETS SET, DOORS HUNG, UNITS HEATED  
BLDG. A-3: EXTERIOR ESSENTIALLY COMPLETE; INTERIOR  
PAINTED, DOORS HUNG, DENSE BOARD IN PLACE AT UPPER  
LEVEL, UNITS HEATED  
BLDG. A-4: EXTERIOR ESSENTIALLY COMPLETE; INTERIOR  
PAINTED, CABINETS AND TOPS SET, ELECTRICAL TRIM  
AND LIGHTS IN PROGRESS, HANDICAPPED ACCESSIBLE  
UNIT BEING MODIFIED AS REQUIRED  
BLDG. A-5: EXTERIOR ESSENTIALLY COMPLETE; INTERIOR  
PAINTED, CABINETS SET, DOORS HUNG, UNITS HEATED

COMPLEX A PARKING BEING MODIFIED FOR TRASH ENCLOSURES  
AND HANDICAPPED ACCESS. PARKING IS STRIPED. WALKS BEING POURED.

**COMPLEX B:**

SEE SEPARATE PUNCH LIST INSPECTION FOR COMPLEX B

**COMPLEX C:**

BLDG. C-3: ROOFING APPROXIMATELY 50% COMPLETE; EXTERIOR  
PAINTED AND TRIMMED; NEARLY READY FOR SOFFITS AND  
FASCIA; INTERIOR SHEETROCKED AND TAPING IN  
PROGRESS.  
BLDG. C-5: ROOFING ESSENTIALLY COMPLETE, EXTERIOR  
PAINTED AND TRIMMED; INTERIOR SHEETROCKED AND  
FIRST COAT OF TAPING COMPLETE.  
BLDG. C-4: FIRST FLOOR FRAMING ESSENTIALLY COMPLETE

OFFICE/LAUNDRY BUILDING: LOCKED; UNABLE TO INSPECT  
EXTERIOR PAINTED, ROOFING COMPLETED.

MASONRY BUILDINGS: ROOFING IS NEARING COMPLETION

STORAGE BUILDINGS: ALL BUILDINGS HAVE BEEN SIDED AND  
DRY SHEETED. ALL BUILDINGS ARE SHEETROCKED AND  
TAPED; STORAGE CUBICLES ARE ESSENTIALLY COMPLETE.

INSPECTION NO. TWENTY-EIGHT  
PAGE 2 OF 2

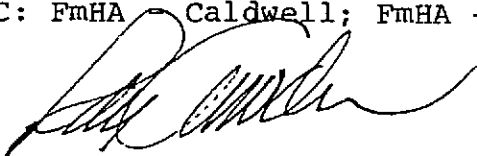
OBSERVATIONS: PUNCH LIST FOR COMPLEX B WAS COMPLETED FOR SINGLE STORY BUILDINGS. TWO STORY BUILDINGS NOT YET READY FOR PUNCH LIST. ARCHITECT WILL ADVISE OWNER AS TIMES BECOME MORE CERTAIN FOR PUNCH LIST/FINAL INSPECTIONS.

ACTION REQUIRED:

- \* AT COMPLEX C, ASSURE THAT ANCHOR BOLTS ARE PROVIDED NEAR END OF ALL SILL PLATES AS REQUIRED BY UBC
- \* ADDITIONAL TRIM IS REQUIRED AT SOFFITS OF BUILDINGS IN COMPLEX A
- \* ASSURE THAT TEMPERED GLASS IS INSTALLED AS REQUIRED AT UNIT 218 IN COMPLEX A
- \* PROVIDE ADDITIONAL SOFFIT TRIM AT BLDG. A-3
- \* BROKEN WALK AT PARKING IN FRONT OF UNIT 207 WILL REQUIRE REPAIR
- \* ASSURE THAT BACKING IS INSTALLED FOR ADA REQUIRED GRAB BARS IN ALL SINGLE STORY BUILDINGS. VERIFY THAT THIS IS DONE ON COMPLEX C BUILDINGS WHERE BACKING HAS NOT BEEN INSTALLED.
- \* CHECK INSULATION STOPS IN ATTICS OF ALL BUILDINGS TO ASSURE THAT 2" FREE VENT AREA IS PROVIDED. ASSURE THAT DENSE BOARD IS INSTALLED ON SECOND FLOOR OF ALL TWO STORY BUILDINGS PRIOR TO INSTALLATION OF FLOORING. ASSURE THAT LOW ROOFS OF TWO-STORY BUILDINGS ARE PROVIDED WITH ATTIC ACCESS.
- \* ASSURE THAT REMOVABLE BASE CABINETS ARE PROVIDED AS REQUIRED AT HANDICAPPED DWELLING UNITS
- \* ASSURE THAT GRAB BARS AS REQUIRED ARE INSTALLED AT ALL HANDICAPPED DWELLING UNITS
- \* ASSURE THAT HANDICAPPED ACCESS RAMPS ARE PROVIDED AS REQUIRED FROM ALL PARKING LOTS
- \* ASSURE THAT HOLES CUT FOR VENTING THROUGH TRUS JOIST MEMBERS ARE LOCATED AS REQUIRED BY MFG AND DO NOT EXCEED MFG RECOMMENDATIONS

SEE ALSO TYPICAL ACTION REQUIRED ITEMS FROM PREVIOUS REPORTS.

CC: FmHA Caldwell; FmHA - State; Owner; Contractor

A handwritten signature in black ink, appearing to be a stylized name, possibly "Caldwell", written over the distribution list.

# **PUNCH LIST**

## **FARMWAY VILLAGE PHASE I - COMPLEX B**

October 28, 1992

Present at Inspection: Don Downen  
Lew Kerfoot  
Dave Linden  
Ted Parrott  
Ray Crowder

### **Unit #340**

1. Touch up exterior paint over entry.
2. Paint patio screen.
3. Install cap over top of screen.
4. Provide electrical outlet on face of kitchen cabinet on dining room side.
5. Clean overspray at all windows.
6. Install screens.
7. Check weather strip at entry door.
8. Level all appliances.
9. Install light in range hood.
10. Bathroom--repair ding in wall at convenience outlet.
11. Clean inside cabinet in bathroom.
12. Range hood is loose.
13. Provide hole in shelf for dryer hose.
14. Repair holes in living/dining room wall on north wall.

15. Touch up casing and trim at front entry door.
16. Touch-up exterior paint in all areas where pencil markings or overspray are present.
17. Clean tape off hose bibbs.
18. Clean mud off fascia.
19. Open both end of drains under walkways.

### **Unit #339**

1. Paint trim at entryway.
2. Paint privacy screen and install cap and trim.
3. Install splash block at all down spouts.
4. Repair damaged sheetrock in exterior storage area.
5. Caulk around inside face of door in outside storage area.
6. Base in dining area.
7. Broken window at dining room.
8. Repair torn vinyl in living/dining area.
9. Adjust secondary bedroom door to latch.
10. Caulk around electrical box at water heater.
11. Patch wall in water heater closet.
12. Install screen at kitchen window.

### **Unit #338**

1. Flush hose bib connection tight against wall.
2. Install light at entry.
3. Clean vinyl window at entry.
4. Paint trim at entry.

5. Touch up wall in living area.
6. Install range.
7. Provide a hole through shelf for dryer hose.
8. Patch wall at water heater closet.
9. Touch-up wall in bath area.

### **Unit #337**

1. Touch up wall where screen wall meets building wall.
2. Clean concrete spatter off entry wall.
3. Install entry light.
4. Paint patio screen and install cap.
5. Check light in exterior storage area.
6. Caulk around inside face of storage room door.
7. Touch-up exterior paint at kitchen window.
8. Repair siding over exterior storage door.
9. Touch-up in hallway.
10. Clean wall in secondary bedroom at bypass door.
11. Secondary bedroom--touch up window casing at corner bead.
12. Repair wall at water heater closet.
13. Caulk around electrical box at water heater.
14. Provide hole in shelf for dryer hose.
15. Repair gouges in vinyl floor in kitchen and hallway.
16. Provide screen at kitchen window.

### **Unit #335**

1. Install splash block at down spouts.
2. Caulk at inside face of exterior storage room doors.
3. Install entry light.
4. Paint patio screens and install cap.
5. Repair gouges in flooring at living area.
6. Adjust bypass door in secondary bedroom.
7. Label electrical panel as required.
8. Provide hole in shelf for dryer vent hose.
9. Install light in range hood.
10. Touch wall at convenience outlet in kitchen.
11. Repair gouge in floor vinyl at hallway corner.
12. Touch-up frame and entry door.

### **Unit #333**

1. Paint screen walls.
2. Install cap on screen wall.
3. Paint trim at entry.
4. Caulk around inside face of frame of storage room.
5. Caulk around pressure relief turn down at patio.
6. Install entry light.
7. Patch wall at screw-pop at entry door.
8. Touch-up wall at corner in living room.
9. Repair gouge in wall at dining room.

10. Loose base at entry door.
11. Hole in wall above entry door.
12. Install light at range hood.
13. Provide hole in shelf for dryer hose.
14. Caulk electrical box in water heater closet.
15. Label electrical panel.
16. Touch-up wall in master bedroom.
17. Loose base in master bedroom.
18. Repair door guide in secondary bedroom.
19. Base in bathroom.
20. Adjust pocket door at bathroom.

### **Unit #326**

1. Touch-up entry door casing.
2. Touch-up wall around dining room window casings.
3. Repair gouge in vinyl at dining area.
4. Touch up base in bathroom.
5. Adjust pocket door.
6. Check light in shower room.
7. Install screen at secondary window.
8. Replace broken window in secondary bedroom.
9. Master bedroom--touch-up around window casing.
10. Install screen at master bedroom windows.
11. Adjust hallway closet door to close and latch.

12. Label electrical panel.
13. Caulk around all wall penetrations in water heater closet.
14. Provide hole in shelf for dryer hose.
15. Repair wall at base in laundry closet.
16. Check range hood light.
17. Install gutters, downspouts and splash blocks.

### **Unit #328**

1. Paint privacy screens.
2. Install entry lighting.
3. Paint trim at entry.
4. Install screen at kitchen window.
5. Caulk around door at exterior storage.
6. Repair gouges in vinyl at entry.
7. Install screens throughout.
8. Check lights in hallway and kitchen.
9. Touch-up wall at right of range.
10. Install light in range hood.
11. Provide hole through shelf for dryer hose.
12. Caulk all penetrations of wall and ceiling in water heater closet.
13. Label electrical panel.
14. Fill nail holes in secondary bedroom below window.
15. Touch-up scuff on wall in secondary bedroom.
16. Check lighting throughout unit.



17. Adjust bypass door in secondary bedroom.
18. Check base in secondary bedroom.
19. Adjust stopper at bathroom sink.
20. Repair wall at dining room windows.
21. Replace damaged lid on water closet.

#### Unit #325

1. Construct patio screen.
2. Install gutters and downspouts and splash blocks.
3. Touch-up trim on soffit by kitchen window.
4. Install screens throughout.
5. Clean windows.
6. Repair broken window at kitchen.

#### Unit #336

1. Patch corner bead at wall between kitchen and dining.
2. Check lighting throughout the unit.
3. Adjust door guide on bypass door at laundry.
4. Hole through shelf for dryer hose.
5. Caulk all penetrations of wall and ceiling at water heater closet.
6. Label electrical panel.
7. Repair gouge above light switch in primary bedroom.
8. Provide cover plate on outlet in closet of master bedroom.
9. Television connections in master bedroom.
10. Caulk around window ledges in secondary bedroom.

11. Adjust bipass door in secondary bedroom.
12. Adjust bedroom door at secondary bedroom to latch.
13. Repair wall in hallway.
14. Patch vinyl in front of refrigerator.
15. Touch-up wall at left side of range.
16. Modify water shut-off in exterior storage for easier use.

### **Unit #334**

1. Paint privacy screens.
2. Attach gutters and downspouts.
3. Install trim at face of cabinet on dining room side.
4. Patch gouges in vinyl at dining and living area.
5. Repair broken tub/shower.
6. Caulk and paint at edge around tub.
7. Touch-up gouge in wall in hallway.
8. Provide hole in shelf for dryer vent hose.
9. Paint attic access panel.
10. Repair vinyl at cut at door of master bedroom.
11. Touch-up around cover plates as needed, especially in bedrooms.
12. Touch-up corner beads where needed.
13. Label the electrical panel.
14. Check electrical throughout.
15. Locate refrigerator away from baseboard heater.

## **Site Work**

1. Provide handicapped accessible ramps from parking areas as indicated on the drawings.
2. Provide handicapped parking signage.
3. Install trash enclosures.
4. Install playground equipment.
5. Complete installation of underground sprinkling system.
6. Complete landscaping.
7. Touch-up exterior paint.
8. At patios where concrete touches MDO plywood siding, cut siding; caulk to prevent water damage to siding.
9. Slope grade away from buildings in all locations.
10. Provide site lighting.

## **General**

1. In all other buildings at Complex B, assure that all typical items noted in the above units has been corrected throughout the B Complex.
2. Check electrical in all dwellings.
3. Check smoke detectors in all dwellings.
4. All cover plates to fully cover openings.
5. Level all refrigerators.
6. Adjust dampers at all range hoods.
7. Fill nail holes in casing/trim/door edges.
8. All clean-out caps to be flush.
9. Caulk base of water closet and all edges of tub/shower.

10. Provide cover plate at all outlets and television hook-ups.
11. Provide stoppers at kitchen sink.
12. Install bumpers on bipass doors.
13. Install medicine cabinets
14. Install blinds.
15. Clean caulk, overspray, etc. off vinyl window frames (exterior and interior).
16. Collect warranties and product information manual on water heater, range and refrigerator and provide them to the Owner.
17. Open both end of drains under walkways.
18. Install gutters, downspouts and splash blocks.
19. Install shower curtains at all units.
20. Begin process for rebates from Idaho Power.

Contractor to inspect all units and to correct all punch list items prior to requesting new inspection. Contractor to conduct his own punch list inspection and correct those bitems before requesting Architect's inspection at two-story units.



**CROWDER ASSOCIATES  
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**FINAL INSPECTION  
FARMWAY VILLAGE COMPLEX "B"  
NOVEMBER 13, 1992**

**Present at final inspection:**

Fred Marker - FMHA  
Ray Crowder - Architect

**UNIT NO. 321**

Touch-up at corners (ceiling) in Kitchen  
Check keying  
Move privacy hardware to M. Bedroom (upstairs)  
Install guide on Lower Level bi-pass door  
General cleanup

**UNIT NO. 322**

Check switching of interior lights  
Repair wall at outlet above Lav. in Upper Level bath  
Move privacy hardware to M. Bedroom (upstairs)  
General Cleanup  
Improve vinyl flooring at Upper Level  
Check keying / Adjust deadbolt

**UNIT NO. 323**

Range hood is loose  
Touch-up waterproof outlet at entry  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Vinyl flooring at Upper Level is NOT ACCEPTABLE  
Caulk edge of flooring around Bedroom and Bathroom doors

**UNIT NO. 324**

Install blind at Lower Level Bedroom  
Clean base at right of Range  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Clean stickers off Upper Level windows

**UNIT NO. 325**

Install gutters, downspouts, splashblocks  
Repair light at range hood  
General cleanup  
Paint is thin on entry door  
Additional insulation required in attic

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 2

UNIT NO. 326

Clean base at Laundry Closet  
Repair light at range hood  
Provide cover plate at M. Bedroom

UNIT NO. 327

Install tilt mirror  
Install shower seat  
Provide switched controls for range hood  
Provide cabinet-face electrical outlets in Kitchen  
Provide wheelchair access at Kitchen sink with removable cabinet face  
Caulk above bathroom sink  
Shelf in front of WH to be removeable (screw into place)

UNIT NO. 328

Broken light at Bathroom  
Install filter at range hood

UNIT NO. 329

Check sidewalk grade at entry; advise architect of actual slope per foot  
Seal/caulk at upper cabinets  
General cleanup  
Improve appearance of vinyl base throughout  
Repair bi-pass door guide at secondary bedroom  
Install door stop at M. Bedroom  
Move privacy hardware to M. Bedroom (Upper Level)  
General cleanup

UNIT NO. 330

Upper cabinets doors don't line-up  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 331

Upper cabinet doors at left of range need adjustment  
Noisy fan in Lower Level Bath  
Improve appearance of vinyl base throughout  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 332

Check sidewalk grade at entry / advise Architect of actual slope per foot  
Upper level vinyl is bumpy  
Install door stop at M. Bedroom  
Adjust bi-pass doors  
Broken self-edge at kitchen sink

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FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 3

UNIT NO. 333

Adjust deadbolt  
Caulk around pressure relief turn down at patio  
Adjust pocket door at bathroom

UNIT NO. 334

Move thermostat located behind refrigerator

UNIT NO. 335

Caulk at inside face of exterior storage room door  
Check keying

UNIT NO. 336

Install filter on range hood  
Replace metal cover plate in M. Bedroom with plastic to  
match.  
Provide cover plate on outlet in closet of M. Bedroom  
Provide guide for bi-pass door in secondary bedroom

UNIT NO. 337

No items noted

UNIT NO. 338

No items noted

UNIT NO. 339

No items noted

UNIT NO. 340

Touch-up casing and trim at front entry door

GENERAL ITEMS

All outlets to have matching coverplates  
Remove all metal coverplates and replace with plastic  
Install bumpers on all bi-pass doors  
Collect warranties and product information manual on water  
heater, range and refrigerator and provide them to the  
Owner.  
Check keying at all entry doors and at exterior storage  
rooms. Assure that tenant and owner keys work smoothly  
without bind  
Obtain Idaho Power GoodCents rebates

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 4

SITE

Note that no inspection of exterior was conducted. This work is to be accomplished when weather conditions allow. Final inspection of site will be conducted after Architect is advised that site items have been completed, inspected and found to be acceptable by the General Contractor.

Contractor is advised to assure that the following items are corrected prior to final inspection of the Site:

- Clean overspray/paint off vinyl window frames
- Reset/caulk/seal as required at hose bibbs/pressure relief  
turndown/waterproof elec. outlets. Repair siding as  
needed at those locations.
- Regrade site for drainage away from buildings
- Cut and caulk siding at concrete slabs to prevent water from  
"wicking" into siding.
- Open both ends of drains under walkways
- Install trash enclosures
- Install playground equipment
- Install landscaping and finish sprinkler system
- Touch-up exterior paint
- Install site lighting





**CROWDER ASSOCIATES  
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(208) 377-2870

FAX (208) 322-5886

INSPECTION NO.: TWENTY-NINE  
PROJECT: CALDWELL HOUSING AUTHORITY  
LOCATION: CALDWELL, IDAHO  
DATE: NOVEMBER 18, 1992  
TIME: 2:30 P.M.  
WORK ON SCHEDULE: YES  
WEATHER CONDITIONS: PARTLY CLOUDY; 45  
PRESENT ON SITE: TED PARROTT; MISC. WORKERS

**WORK IN PROGRESS:**

**COMPLEX A:**

UNITS 201-204: EXTERIOR ESSENTIALLY COMPLETE  
EXCEPT FOR FINAL TRIM. INTERIORS TAPED,  
TEXTURED, PAINTED. UNITS READY FOR VINYL  
FLOOR COVERING; READY FOR PLUMBING FIXTURES  
TO BE SET.

UNITS 205-208: EXTERIOR ESSENTIALLY COMPLETE.  
INTERIORS TAPED, TEXTURED, PAINTED. UNITS  
READY FOR VINYL. PLUMBING FIXTURES BEING  
SET.

UNITS 209-212: EXTERIOR ESSENTIALLY COMPLETE.  
CABINETS SET; VINYL INSTALLED; READY FOR  
VINYL BASE TO BE INSTALLED.

UNITS 213-216: EXTERIOR ESSENTIALLY COMPLETE.  
CABINETS SET; VINYL INSTALLED; READY FOR  
VINYL BASE TO BE INSTALLED.

UNITS 217-220: EXTERIOR ESSENTIALLY COMPLETE.  
CABINETS SET; VINYL INSTALLED; READY FOR  
VINYL BASE TO BE INSTALLED.

**COMPLEX B:**

INTERIORS COMPLETED; MINOR PUNCH ITEMS  
REMAIN. MOST UNITS ARE NOW OCCUPIED.

**COMPLEX C:**

BLDG. C-3 EXTERIOR NEARLY COMPLETE; READY FOR  
VINYL SOFFIT AND FASCIA; INTERIOR TAPED,  
TEXTURED, PAINTED. ELECTRICAL FIXTURES HUNG.

BLDG. C-4 NO CHANGE

BLDG. C-5 EXTERIOR NEARLY COMPLETE; READY FOR  
VINYL SOFFIT AND FASCIA; INTERIOR TAPED,  
TEXTURED, PAINTED. ELECTRICAL FIXTURES HUNG;  
SETTING CABINETS.

OFFICE/LAUNDRY BLDG.: NO CHANGE

MASONRY BUILDINGS: REROOFING IS CONTINUING.

STORAGE BUILDINGS: ESSENTIALLY COMPLETE

OBSERVATIONS: WORK IS CONTINUING ON COMPLEX B PUNCH LIST. MOST SIGNIFICANT ITEMS HAVE BEEN CORRECTED. MOST UNITS ARE OCCUPIED. SITE WORK IS CONTINUING AS WEATHER CONDITIONS ALLOW. CONTRACTOR HOPES FOR PUNCH LIST INSPECTION AT COMPLEX A DURING THE NEXT TWO WEEKS. ASBESTOS ABATEMENT IS IN PROGRESS AT VACANT HOUSES. IT IS POSSIBLE THAT FIRST BURN OF EXISTING BUILDINGS COULD OCCUR DURING THANKSGIVING WEEK.

ACTION REQUIRED: 1) CONTRACTOR TO ENSURE THAT SIDE SPLASH IS INSTALLED AT SIDE OF ANY RANGE WHICH IS LOCATED ADJACENT TO A SIDE WALL. SIDE SPLASH TO EXTEND TO UNDERSIDE OF RANGE HOOD AS INDICATED ON THE DRAWINGS.

2) CONTRACTOR TO ENSURE THAT SHOWER CURTAINS ARE INSTALLED AS INDICATED IN THE SPECIFICATIONS MANUAL.

3) TEMPERED GLASS HAS BEEN CORRECTED AT UNIT NO. 220 HAS NOT YET BEEN CORRECTED. CONTRACTOR WILL CORRECT THIS BUILDING WHEN BROKEN WINDOWS ARE REGLAZED.

ACTION REQUIRED - GENERAL: CONTRACTOR TO INSTALL HURRICANE CLIPS AT EACH TRUSS AND AT GABLE ENDS AS REQUIRED BY THE DRAWINGS. VERIFY THAT REQUIRED BACKING IS IN PLACE AT ACCESSIBLE/ADAPTABLE BATHROOMS; PROVIDE SOLID BACKING FOR TOWEL BARS, GRAB BARS, HANDRAILS, AND WHERE DOOR HARDWARE STRIKES WALLS; ASSURE THAT SOLID FIRE BLOCKING IS IN PLACE AS REQUIRED; ASSURE THAT FRAMING ALLOWS FULL DOOR SWING WITHOUT DOOR HARDWARE STRIKING ADJACENT WALLS.

PROVIDE HARDWOOD SHIMS AT ALL HEADERS WHERE GAPS OCCUR BETWEEN HEADER AND TRIMERS. ASSURE THAT TEMPERED GLASS IS INSTALLED AT WINDOWS LOCATED WITHIN 24 INCHES OF DOORS. ASSURE THAT SILL PLATES ARE ANCHORED WITHIN 12 INCHES OF EACH END OF SILL PER UBC. VERIFY SPACING OF NAILING AT PLYWOOD SIDING / ASSURE THAT NAIL HEADS DO NOT BREAK SURFACE OF MDO SIDING / SEAL RAW EDGES OF PLYWOOD SIDING IF EXPOSED TO MOISTURE.

ASSURE THAT REQUIREMENTS OF IDAHO POWER/GOOD CENTS ARE COMPLIED WITH. ASSURE THAT INSULATION STOPS IN ATTICS ARE LOCATED TO ALLOW MAXIMUM INSULATION THICKNESS AT EXTERIOR WALLS. 2" FREE VENT AREA IS REQUIRED ABOVE INSULATION.

CC: FMHA - CALDWELL; FMHA - STATE OFFICE; OWNER; CONTRACTOR





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FARMWAY VILLAGE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

COMPLEX A - FINAL INSPECTION  
December 17, 1992

Present: Fred Marker  
Ray Crowder

SITE

Because of winter weather conditions, site and building exteriors are not included in this Final Inspection. Exterior items will be deferred pending favorable weather conditions.

GENERAL ITEMS

At entry patios where flush clean-out caps have been installed, caulk or seal around concrete as required  
Contractor to check attic insulation at all units  
Caulk at each side of all window sills

UNIT #201

General cleanup  
Repair wall at water heater J-box  
Install missing blind in upper level bedroom  
Repair nail pop above access panel on stairway  
Replace upper section of handrail on stairway  
Repair leaky toilet valve at lower level bath  
Repair vinyl gouge at secondary bedroom, upper level

UNIT #202

Install sidesplash adjacent to range  
Improve base in M. Bedroom closet

UNIT #203

General cleanup  
Install upper cabinet and finish installation of back on dining room cabinets  
Install sidesplash adjacent to range  
Repair door at bi-pass in M. Bedroom  
Upper cabinet at left of range has loose screws  
Install electrical panel cover  
Repair vinyl tear at M. Bedroom door  
Install larger bumpers on bi-pass doors

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 2

UNIT #204

Install toe-kick heater in kitchen  
Touch-up wall at door and at outlets in M. Bedroom  
Install bumper on range hood to protect cabinet door  
Touch-up wall at thermostat in upper bathroom  
Adjust M. Bedroom door

UNIT #205

Touch-up paint at entry door latch

UNIT #206

Install proper shower curtain

UNIT #207

Touch-up ceiling at attic access panel in M. Bedroom  
Fill holes in Bathroom wall  
Touch-up paint at laundry area

UNIT #208

Adjust damper in range hood

UNIT #209

Install sidesplash adjacent to range

UNIT #210

Install sidesplash adjacent to range  
Improve appearance of base in M. Bedroom  
Repair vinyl ridges, bumps and cuts at secondary bedroom closet

UNIT #211

Install door bumper on range hood to protect cabinet door  
Install sidesplash adjacent to range  
Repair damaged door handle on range  
Properly install escutcheon at water heater

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 3

UNIT #212

Provide missing valence on blinds in secondary bedroom  
Bi-pass doors not in guides at Master & secondary bedroom  
Touch-up flooring seam at each bedroom at upper level  
Add cabinet bumper on range hood  
Adjust entry door for better seal  
Clean entry door

UNIT #213

Install all television cover plates  
Repair wall/base beneath outlet in M. Bedroom

UNIT #214

Install all television cover plates  
Repair seams in floors at bedrooms  
Repair door latch at exterior storage room door, adjust to  
close tightly

UNIT #215

Install shower head on slide bar  
Install folding seat  
Improve appearance of base in secondary bedroom  
Insulate exposed hot water lines beneath kitchen and  
bathroom sinks  
Install sliding shelf in cabinet at left of range

UNIT #216

Touch-up attic access at secondary bedroom  
Touch-up wall beside shower

UNIT #217

Check and clean vinyl seams throughout

UNIT #218

Improve installation of hood/light at range  
Touch-up cover plate at kitchen bar countertop  
Repair vinyl tear at secondary bedroom door  
Align upper cabinet doors over sink

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 4

UNIT #219

Finish repair of ceiling between dining and hallway  
Replace backsplash at range  
Move towel bar away from T-stat in bathroom  
Repair bumps in vinyl at door to secondary bedroom

UNIT #220

Install valence on blinds throughout  
Paint around entry door latch  
Align upper cabinet doors

OTHER ITEMS

If feasible, cut shelf cleats to match shelf depth  
Provide occupancy permits  
Provide certifications for insulation  
Provide warranties for appliances and water heaters



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(208) 377-2870

FAX (208) 322-5886

**CONSTRUCTION REPORT NO:** THIRTY  
**PROJECT:** CALDWELL HOUSING AUTHORITY  
**LOCATION:** CALDWELL, IDAHO  
**DATE:** DECEMBER 23, 1992  
**TIME:** 7 30 a.m.  
**WORK ON SCHEDULE:** YES  
**WEATHER CONDITIONS:** PARTLY CLOUDY, 25 DEGREES  
**PRESENT ON SITE:** TED PARROTT, CONCRETE WORKERS; ELECTRICIANS

**WORK IN PROGRESS:**

COMPLEX A: INTERIOR OF UNITS COMPLETE EXCEPT FOR PUNCH LIST ITEMS MOST UNITS ARE NOW OCCUPIED.

COMPLEX B: INTERIOR OF UNITS COMPLETE EXCEPT FOR PUNCH LIST ITEMS MOST UNITS ARE NOW OCCUPIED

**COMPLEX C:**

BUILDING C-3: EXTERIOR NEARLY COMPLETE; NO ADDITIONAL EXTERIOR WORK SINCE LAST INSPECTION. INTERIOR PAINTED; CABINETS SET; COUNTERTOPS IN PROGRESS, STAIR TREADS COMPLETE; LIGHTING FIXTURES AND BASEBOARD HEATERS SET, DOORS HUNG

BUILDING C-5: EXTERIOR NEARLY COMPLETE EXCEPT FOR FASCIA AND SOFFITS INTERIOR PAINTED, CABINETS SET; COUNTERTOPS SET, LIGHTING FIXTURES AND BASEBOARD HEATERS SET, DOORS HUNG

BUILDING C-4. FRAMING READY TO RESUME

OFFICE BUILDING EXTERIOR NEARLY COMPLETE; INTERIOR PAINTED, DOORS HUNG, WALLS FRAMED FOR NEW POST OFFICE BOXES.

STORAGE BUILDINGS. INTERIORS ESSENTIALLY COMPLETE; DOORS HUNG, HARDWARE INSTALLED; ELECTRICAL NEARING COMPLETION. EXTERIORS NEARLY COMPLETE EXCEPT FOR SOFFITS AND FASCIA.

ROOFING OF MASONRY BUILDINGS: ALL ROOFS FLASHED AND READY FOR TOPCOAT. NO ADDITIONAL WORK IS LIKELY UNTIL WEATHER CONDITIONS IMPROVE.

**ACTION REQUIRED:**

- \* LENGTH OF SHELF CLEATS TO MATCH SHELF DEPTH
- \* INSTALL SIDE SPLASH TO RANGE HOOD WHERE RANGE ABUTS SIDE WALL
- \* UNIT 459 - VERIFY THAT SPACE IS ADEQUATE FOR WASHER & DRYER AND WATERHEATER
- \* UNIT 460 - VERIFY THAT THERE IS 34" CLEAR TO PROVIDE ACCESS TO ALL BEDROOMS

CC FmHA - STATE, FmHA - CALDWELL, OWNER, CONTRACTOR



**CROWDER ASSOCIATES  
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December 24, 1992

The Russell Corporation  
8150 Emerald Street, Suite 100  
Boise, Idaho 83704  
attn: Stan Janes

re. Farmway Village  
Floor Covering

Dear Stan;

This letter is to advise you that defects in the installation of vinyl floor covering in the referenced project will not be accepted. As you know, during each Punch List and Final Inspection, defects in the vinyl installation have been noted and listed. It is now coming to our attention, and to the Owner, that floor covering defects are significantly more wide-spread than had been previously noted.

As the units in Complex A and B are occupied, occupants are noting numerous tears, burns, cuts, and uneven surfaces where it appears that flooring was installed over dirty subfloor or inadequately prepared surfaces.

I have great concern that not only is the existing condition unsightly and substandard, it is also unlikely to survive the one year warranty required for this Project. I believe that all ridges and bumps in the flooring surface, as well as tears and cuts, will wear badly and be in need replacement prior to the end of the warranty period.

I am, therefore, requesting that a meeting be scheduled involving the Contractor, Subcontractor, Architect and other interested parties at the Project site. Prior to that meeting, I will ask the Owner to prepare a list of defects as noted by occupants so that specific items can be inspected and considered.

I believe that it is essential that this problem be considered and resolved quickly in order that the interests of all parties are protected. If you have any question in this matter, or if discussion is needed, please contact me. Your assistance in resolving this matter is appreciated.

Sincerely, —

Ray Crowder, AIA

cc. Caldwell-Housing-Authority





Final Inspection Phase I - Complex B  
Farmway Village  
November 13, 1992

Unit 321

Clean unit; otherwise OK.

Unit 322

Clean unit; otherwise OK.

Unit 323

1. Secure range hood.
2. Underlayment showing through vinyl (upper bedroom).

Unit 324

Install window levelor in bedroom.

Unit 329

1. seal/caulk at upper edge of cabinets above kitchen range and clean off taping compound.
  2. Rubber base not very professionally installed. Replace if necessary.
  3. Adjust door guide to closet door up stairs.
  4. Install door stop in bedroom not upstairs.
- Note: This unit needs a good cleaning.

Unit 330

1. Upper cabinet doors over sink area do not align.
2. Add door stop at top of door leading to larger bedroom.

Unit 331

1. Align doors to upper cabinets left of kitchen range.
2. Replace noisy bath fan (lower section).
3. Repair or replace rubber base (poor installation).
4. Install door stop at master bedroom upstairs.

Unit 332

1. Adjust bi-pass closet door to operate properly.
  2. Install door stop at front door to master bedroom.
  3. Finish cleaning this unit.
- Note: Check concrete sidewalks at units Nos. 329 and 332 to assure maximum steepness for walks is not exceeded. These walks appear that they might be a hazard during freezing weather.

Unit 333

No problems noted.

Unit 326

No problems noted.

Unit 328

1. Repair or replace light fixture in bathroom.



Unit 325

This unit needs to be cleaned; otherwise no problems noted.

Unit 327 - Handicap Unit

1. Run a bead of silicone sealer at wall hung fixture.
2. Wire kitchen hood and add outlet at required handicapped height.

Unit 334

1. Move thermostat from behind refrigerator in kitchen.

Unit 335

This unit is acceptable.

Unit 336

1. Install door guide to closet doors in bedroom No. 2.

Unit 337

This unit is acceptable

Unit 338

This unit is acceptable

Unit 339

This unit is acceptable

Unit 340

1. Install electrical outlet at end of cabinet.

General Items - All Units

1. Install rubber bumpers on all bi-pass closet doors.
2. Secure nailer supports under shelving.
3. Provide certified cabinet sticker on all cabinetry.
4. Check all outlets and switches to assure proper operation.

Farm way Village L.H.

USDA-FmHA  
Form FmHA 1924-12  
(Rev. 2/87)

FORM APPROVED  
OMB NO. 0575-0042

# INSPECTION REPORT

STATE INDIANA

FOR Caldwell Labor Housing Auth. COUNTY Canyon

ADDRESS Caldwell, ID

ITEM OF DEVELOPMENT	PERCENT COMPLETE	ITEM OF DEVELOPMENT	PERCENT COMPLETE
20 Units of L.H.		this is an inspection	
Complex B.		of interior of units	
FINAL Inspection	95%	only.	

## PERIODIC INSPECTION

Date & No. of previous inspection: \_\_\_\_\_

This inspection is Number \_\_\_\_\_

ITEMIZE AND DESCRIBE the significant conditions observed to be at variance with the approved plans and specifications and make your recommendations for correcting the deficiencies. Also make comments with respect to the progress of the work. In the case of development performed by the borrower method, carefully compare work accomplished with funds available and record any facts which indicate that actual costs are significantly at variance with planned costs. Check to see that deficiencies previously reported have been corrected.

I met with Ray Crowder (Architect) AND reviewed several units for final inspection. I determined that all units will be habitable except for a minor punch list. (See attached punch list for specific work list)

(See attached sheets for additional comments)

DATE 11-13-92 SIGNED Fred J. Markler D.L.S.

Indicate whether: ☒ FmHA Representative, or  
☐ Contractor

## FINAL INSPECTION

I CERTIFY that I have inspected for the purposes set forth in 7 CFR 1924 Subpart A and 7 CFR 1942 Subpart A, the above listed items of development and that those shown as 100% complete have been completed in accordance with the Drawings and Specifications or other descriptive material. Health Department approval has been given the water and waste

disposal system on (date) \_\_\_\_\_. Builder's Warranty is dated \_\_\_\_\_

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

FmHA Representative

The undersigned gives approval of acceptance of the work constructed under the conditions of the contract and Builder's Warranty.

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

Borrower

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

Builder (Optional)

SEE REVERSE FOR CHECK LIST & INSPECTION GUIDE

FmHA 1924-12 (Rev. 2/87)

# GUIDE FOR INSPECTION OF CONSTRUCTION OF DWELLINGS AND BUILDINGS

## Notices, Labor and Occupancy Observations.

- ☒ Yes    ☐ No - The required posters displayed?  
☒ Yes    ☐ No - The facilities segregated?  
☐ Yes    ☒ No - Any evidence of employment discrimination?

**GENERAL.** - Drainage conditions. Location of buildings with respect to property lines. Other buildings, water supply, sewage disposal, utilities, etc. Protection of materials on site.

**EXCAVATION.** - Earth bearing. Footing depths. Frost lines. Grades specified.

**CONCRETE AND MASONRY.** - Concrete mix or strength, forms, placing. Mortar mix. Width and depth of footings. Reinforcing steel. Stepped footings. Drain tile. Concrete slabs on ground: Bed under slabs, wire mesh, slab thickness, finish. Termite protection. Foundation wall and pier alignment. Anchorage preparation. Dampproofing. Waterproofing. Exterior masonry: Lintels, wall thickness, height, parging, furring, wall vents, basement windows, termite protection. Masonry veneer: Lintels, thickness, airspace, flashing, felt, bonding, weepholes. Interior masonry wall: Thickness, lintels. All masonry walls: Joints, tooling, pointing, flashing, prevention of mortar stains, cleaning. Masonry chimney and fireplaces: Flues, size of flues, height above ridge, thimble, chimney cap, smoke cap, smoke chambers, firebrick, hearth. Basementless areas: Clearance below joist, positive drainage.

**CARPENTRY MATERIALS.** - Species and grade of lumber, moisture content. Shims. Preservatives.

**FRAMING.** - Fire stopping. Framing at chimney. Columns. Posts. Anchorage and moisture protection. Girders. Floor joists, double joists. Headers and trimmers. Subflooring. Ceiling joists. Roof pitch. Roof rafters. Hip and valley rafters. Collar beams. Flat roofs. Trussed roof construction. Studs, corner construction, corner bracing. Sill construction. Anchorage. Window and door openings. Plates. Wall sheathing. Roof sheathing. Termite protection.

**EXTERIOR WALL FINISH.** - Type of paper or felt. Lap. Fit at: Corner boards, door and window casings, drip cap, water table, sills. Nails and nailing. Miter. Corner finish. Stucco.

**ROOF COVERING.** - Conditions of deck, underlay, starting course, exposure, nailing.

**INSULATION.** - Fastening of boards. Fill (to top of walls and even distribution in ceilings).

**FLASHING AND CAULKING.** - Flashing at: Exterior heads of openings, chimneys, intersections of roof and walls, valleys, hips, ridges. Caulking around openings.

**PLUMBING.** - Quality of materials. Workmanship. Excavation and backfill. Protection of pipes. Size of pipe. Cutting or notching. Joints and connections. Water supply lines: On solid ground below frost, shut-off valve, drain valve for entire system. Drainage system, vents and venting. Traps and cleanouts. Hangers and supports. Quality and type of fixtures. Location of fixtures. Fixtures securely installed. Domestic hot water heating and storage, equipment, safety, capacity.

**HEATING.** - Safety, capacity. Required tests, operating and maintenance instruction. Fuel storage. Check operation.

**GAS (Liquefied Petroleum).** - Approval markings on tank. Tank location. Meter installation (hung properly). Protection of exposed pipe. Leakage under pressure (smell joints). Location of shut-off valve inside building. Proper ventilation of system.

**ELECTRICAL.** - Location of meter. Number of circuits. Provision for future circuits. Location of outlets and switches. Power suppliers' approval.

**DRYWALL.** - Joints, sanding, filling, taping.

**GLAZING.** - Quality of glass, putty, application.

**LATHING AND PLASTERING.** - Quality of lath, evenness, grounds, joints between wood and masonry, finishing.

**MISCELLANEOUS METAL WORK.** - Pipe raul, metal bucks, metal windows (setting, caulking and priming), painting.

**MILLWORK.** - Trim, cabinets, windows and doors, thresholds.

**WEATHER STRIPPING.** - Seal, joints (tight and smooth).

**FINISH FLOORS.** - Dry storage, baseboard clearance, joints, nailing, finish, protection after laying.

**SCREENING.** - Screen cloth, tightness, fit, operation, identification tags, paint splashes.

**HARDWARE.** - Materials, workmanship, operation, keys.

**LIGHTING FIXTURES.** - Type, bulbs (light, clean).

**PAINTING AND DECORATING.** - Surface preparation, washable materials, lead content, application (suitable weather), nailheads.

**BACKFILLING.** - Around masonry, around trees. Finish grade 8 inches below wood.

**LANDSCAPING.** - Planting, seeding, finish grades.

**FINAL.** - Cleaning up: Masonry, crawl and pipe space, pipe chases, attic, vents in walls, floors, chimney bottoms, fireplace throat, glass, hardware and fixtures. Removal of debris. Closing of floor openings around pipes. Replacement of broken windows. Operation of doors and windows.

## WATER SUPPLY

Location with respect to possible sources of contamination. Shaft. Protection from contamination. Construction. Watertight casing safe distance above slab and safe distance below ground surface. Grading at top of well to drain away in all directions. Size of concrete platform. Slope of concrete platform. Pump: Type, capacity, location, protection, pollution proof, frostproof. Capacity of pressure tank.

## SEWAGE DISPOSAL

Location: Slope of grade, depth of ground water, existing and future water supply. Size and slope of house sewer to septic tank. Capacity of tank. Distance of tank from foundation wall. Construction of tank. Location of disposal field (unobstructed and unshaded area). Construction of field. Minimum seepage area (determined by percolation test or recommendation of Soil Conservation Service and State Board of Health). Approval of State Board of Health.

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

Page 2 of 2

UNIT D (con'd)

(325): Ground wire not hooked up on water heater pipe.

(327): Thermostat behind refrigerator.

Receptacle in kitchen area not completed.

GENERAL: Breakers not flush with panel covers.

Switchgear splices are not completed.

Outside receptacles should be a GFI receptacle.

Baths should have individual GFI receptacles.

BUILDING IV

(323): Missing TV hookup in living room.

Thermostat in kitchen behind refrigerator.

GFI in lower bath hooked to upper bath (Typ.)

(322): Missing TV hookup in living room.

Hall lights do not work.

(321): Need cover on box by shower in lower bath.

Upstairs bath GFI loose.


TV outlet not finished.

(332): Needs blank installed in panel (for breaker).

(330): Missing TV hookup in living room.

Receptacle by range not GFI protected.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT  
Signed 

NOV 16 1992

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

THE FOLLOWING WAS NOTED:

Page 1 of 2

UNIT D

(334): From previous inspection - GFI receptacle missing on end of  
sink cabinet.

Thermostat behind refrigerator.

(336): GFI outlet loose in bath.

Baseboard heater mounted under receptacle in west bedroom.

UNIT C

(339): No GFI protection on receptacle by range.

(340): Receptacle not installed in end of sink counter.

Outside receptacle hooked to bath GFI.

Receptacle by range not GFI protected.

GENERAL: Blank covers should match switch & receptacle covers.

(338): Outside receptacle on bath GFI.

No GFI protection on receptacle by range.

Panel cover upside down.

(337): Outside receptacle on bath GFI.

No GFI protection on receptacle by range.

UNIT D

(328): Thermostat too close to refrigerator.

(326): Need screw in doorbell outside switch.

Need cover on box in west bedroom.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT

Signed 

# WHITE ENGINEERS

1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing-Caldwell, ID FIELD REPORT NO: Final-Phase I

CONTRACT: Mechanical

PROJECT NO: 672

DATE 11-13-92 TIME WEATHER TEMP. RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

## OBSERVATIONS

### 1. Two Story Units

A. Furnish and install wall plates on waste lines at fixtures.

B. Reverse shower (36" x 36") valves. They are upside down.

C. Remove water service valve handles and turn over to manager.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

Turn water service stop valves 90° and provide access door on building interior. This applies to valves in storage rooms.

## ATTACHMENTS

REPORT BY:

10. Provide cover plate at all outlets and television hook-ups.
11. Provide stoppers at kitchen sink.
12. Install bumpers on bypass doors.
13. Install medicine cabinets
14. Install blinds.
15. Clean caulk, overspray, etc. off vinyl window frames (exterior and interior).
16. Collect warranties and product information manual on water heater, range and refrigerator and provide them to the Owner.
17. Open both end of drains under walkways.
18. Install gutters, downspouts and splash blocks.
19. Install shower curtains at all units.
20. Begin process for rebates from Idaho Power.

Contractor to inspect all units and to correct all punch list items prior to requesting new inspection. Contractor to conduct his own punch list inspection and correct those items before requesting Architect's inspection at two-story units.



292<sup>00</sup> - Stove - 20 units

365<sup>00</sup> Ref - 28" unit

Del. By 4001

Pick up check

HOUSING AUTHORITY OF CALDWELL  
P.O. Box 70  
Caldwell, ID 83606

RESIDENT  
24877 Farmway Rd  
Caldwell, ID 83605

HOUSING AUTHORITY OF CALDWELL  
P.O. Box 70  
Caldwell, ID 83606

RESIDENT  
24902 Farmway Rd  
Caldwell, ID 83605

Sent 6-23-92

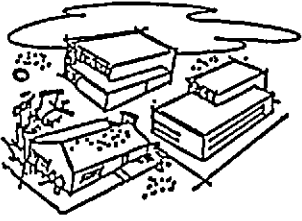
HOUSING AUTHORITY OF THE CITY OF CALDWELL

Established in 1946

P. O. Box 70

CALDWELL, IDAHO 83605

TELEPHONE  
480-8233



June 19, 1992

To Whom It May Concern:

Please be advised that on March 4, 1992 the Canyon County Commissioners unanimously voted to adopt a new road name for the Labor Camp; Farmway Road. Their decision was based on information developed by petitioning all those living on Labor Camp Road.

On March 4, 1992, the petition was adopted and with the approval of the Canyon Highway District, the road name change became official.

Sincerely,

David Linden  
Caldwell Housing Authority

The following Resolution was considered and adopted by the Canyon County Board of Commissioners on the 4th day of March, 1992.

Upon the motion of Commissioner Opp and the second by Commissioner Waggoner the Board resolves as follows:

Having received a request from the Caldwell Housing Authority to rename Labor Camp Road to Farmway Road, and based upon the Canyon Highway District's decision to accept this road name change, the Board hereby resolves to rename Labor Camp Road to Farmway Road. The appropriate agencies will be notified of the name change.

☒ Motion Carried Unanimously  
☐ Motion Carried/Split Vote Below  
☐ Motion Defeated/Split Vote Below

	Yes	No	Did Not Vote
<u>Walter Opp</u> Chairman	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Jim Harrison</u> Commissioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<u>Steve Waggoner</u> Commissioner	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Attest: NED J. KERR, CLERK  
Deputy M. J. [Signature]

Date: 3-4-92

Copy: Caldwell Housing Authority  
Planning and Zoning  
Canyon Highway District  
Notus-Parma Hwy. District  
Caldwell Post Office  
Sheriff's Dept.  
Ambulance District  
Caldwell Fire Dept.  
Middleton Fire Dept.  
US West

RESOLUTION 92-157

# CERTIFICATE OF SUBSTANTIAL COMPLETION

AIA DOCUMENT G704

(Instructions on reverse side)

OWNER ☒  
ARCHITECT ☒  
CONTRACTOR ☒  
FIELD ☐  
OTHER ☒

**PROJECT:**

(Name and address)

FARMWAY VILLAGE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

PROJECT NO.: 91-001

CONTRACT FOR: GENERAL CONSTRUCTION  
CONTRACT DATE: MAY 6, 1992

**TO OWNER:**

(Name and address)

HOUSING AUTHORITY OF THE  
CITY OF CALDWELL  
P.O. BOX 70  
CALDWELL, IDAHO 83606

**TO CONTRACTOR:**

(Name and address)

THE RESSELL CORP.  
8150 EMERALD ST.  
SUITE 100  
BOISE, IDAHO 83704

DATE OF ISSUANCE: DEC. 17, 1992

PROJECT OR DESIGNATED PORTION SHALL INCLUDE:

INTERIOR OF COMPLEX "A" COMPLETE WITH OCCUPANCY PERMIT; ALL EXTERIOR  
WORK DELAYED UNTIL IMPROVED WEATHER CONDITIONS ALLOW COMPLETION OF  
EXTERIOR ITEMS

The Work performed under this Contract has been reviewed and found, to the Architect's best knowledge, information and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion thereof designated above is hereby established as

which is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below:

A list of items to be completed or corrected is attached hereto. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

CROWDER ASSOCIATES  
ARCHITECT

BY

12-17-92  
DATE

The Contractor will complete or correct the Work on the list of items attached hereto within 60 days from the above date of Substantial Completion.

THE RUSSELL CORP.  
CONTRACTOR

BY

12-17-92  
DATE

The Owner accepts the Work or designated portion thereof as substantially complete and will assume full possession thereof at 12:01 A.M. (time) on 12-17-92 (date)

HOUSING AUTHORITY OF THE  
CITY OF CALDWELL  
OWNER

BY

12-17-92  
DATE

The responsibilities of the Owner and the Contractor for security, maintenance, heat, utilities, damage to the Work and insurance shall be as follows.

(Note—Owner's and Contractor's legal and insurance counsel should determine and review insurance requirements and coverage.)



**CAUTION:** You should use an original AIA document which has this caution printed in red. An original assures that changes will not be obscured as may occur when documents are reproduced.



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AMERICAN INSTITUTE OF ARCHITECTS, 1735 NEW YORK AVENUE, N.W., WASHINGTON, D.C. 20006-5292  
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G704-1992

# CERTIFICATE OF SUBSTANTIAL COMPLETION

AIA DOCUMENT G704

(Instructions on reverse side)

OWNER ☒  
ARCHITECT ☒  
CONTRACTOR ☒  
FIELD ☐  
OTHER ☒

PROJECT:

(Name and address)

FARMWAY VILLAGE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

PROJECT NO.: 91-001

CONTRACT FOR: GENERAL CONSTRUCTION  
CONTRACT DATE: MAY 6, 1992

TO OWNER: HOUSING AUTHORITY OF THE

(Name and address)

CITY OF CALDWELL  
P.O. BOX 70  
CALDWELL, IDAHO 83606

TO CONTRACTOR: THE RUSSELL CORP.

(Name and address)

8150 EMERALD ST.  
SUITE 100  
BOISE, IDAHO 83704

DATE OF ISSUANCE: NOVEMBER 13, 1992

PROJECT OR DESIGNATED PORTION SHALL INCLUDE:

INTERIOR OF COMPLEX "B" COMPLETE WITH OCCUPANCY PERMIT; ALL EXTERIOR  
WORK DELAYED UNTIL IMPROVED WEATHER CONDITIONS ALLOW COMPLETION OF  
EXTERIOR ITEMS.

The Work performed under this Contract has been reviewed and found, to the Architect's best knowledge, information and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion thereof designated above is hereby established as

which is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below.

A list of items to be completed or corrected is attached hereto. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

CROWDER ASSOCIATES

ARCHITECT

BY

11.13.92  
DATE

The Contractor will complete or correct the Work on the list of items attached hereto within 90 days from the above date of Substantial Completion.

THE RUSSELL CORP.

CONTRACTOR

BY

11-13-92  
DATE

The Owner accepts the Work or designated portion thereof as substantially complete and will assume full possession thereof at 12:01 A.M. (time) on 11-14-92 (date).

HOUSING AUTHORITY OF THE  
CITY OF CALDWELL

OWNER

BY

11-13-92  
DATE

The responsibilities of the Owner and the Contractor for security, maintenance, heat, utilities, damage to the Work and insurance shall be as follows:

(Note—Owner's and Contractor's legal and insurance counsel should determine and review insurance requirements and coverage.)



CAUTION: You should use an original AIA document which has this caution printed in red. An original assures that changes will not be obscured as may occur when documents are reproduced.





**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**FINAL INSPECTION  
FARMWAY VILLAGE COMPLEX "B"  
NOVEMBER 13, 1992**

**Present at final inspection:**

Fred Marker - FmHA  
Ray Crowder - Architect

**UNIT NO. 321**

Touch-up at corners (ceiling) in Kitchen  
Check keying  
Move privacy hardware to M. Bedroom (upstairs)  
Install guide on Lower Level bi-pass door  
General cleanup

**UNIT NO. 322**

Check switching of interior lights  
Repair wall at outlet above Lav. in Upper Level bath  
Move privacy hardware to M. Bedroom (upstairs)  
General Cleanup  
Improve vinyl flooring at Upper Level  
Check keying / Adjust deadbolt

**UNIT NO. 323**

Range hood is loose  
Touch-up waterproof outlet at entry  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Vinyl flooring at Upper Level is NOT ACCEPTABLE  
Caulk edge of flooring around Bedroom and Bathroom doors

**UNIT NO. 324**

Install blind at Lower Level Bedroom  
Clean base at right of Range  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Clean stickers off Upper Level windows

**UNIT NO. 325**

Install gutters, downspouts, splashblocks  
Repair light at range hood  
General cleanup  
Paint is thin on entry door  
Additional insulation required in attic

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 2

UNIT NO. 326

Clean base at Laundry Closet  
Repair light at range hood  
Provide cover plate at M. Bedroom

UNIT NO. 327

Install tilt mirror  
Install shower seat  
Provide switched controls for range hood  
Provide cabinet-face electrical outlets in Kitchen  
Provide wheelchair access at Kitchen sink with removable  
cabinet face  
Caulk above bathroom sink  
Shelf in front of WH to be removeable (screw into place)

UNIT NO. 328

Broken light at Bathroom  
Install filter at range hood

UNIT NO. 329

Check sidewalk grade at entry; advise architect of actual  
slope per foot  
Seal/caulk at upper cabinets  
General cleanup  
Improve appearance of vinyl base throughout  
Repair bi-pass door guide at secondary bedroom  
Install door stop at M. Bedroom  
Move privacy hardware to M. Bedroom (Upper Level)  
General cleanup

UNIT NO. 330

Upper cabinets doors don't line-up  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 331

Upper cabinet doors at left of range need adjustment  
Noisy fan in Lower Level Bath  
Improve appearance of vinyl base throughout  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 332

Check sidewalk grade at entry / advise Architect of actual  
slope per foot  
Upper level vinyl is bumpy  
Install door stop at M. Bedroom  
Adjust bi-pass doors  
Broken self-edge at kitchen sink



FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 3

UNIT NO. 333

Adjust deadbolt  
Caulk around pressure relief turn down at patio  
Adjust pocket door at bathroom

UNIT NO. 334

Move thermostat located behind refrigerator

UNIT NO. 335

Caulk at inside face of exterior storage room door  
Check keying

UNIT NO. 336

Install filter on range hood  
Replace metal cover plate in M. Bedroom with plastic to  
match.  
Provide cover plate on outlet in closet of M. Bedroom  
Provide guide for bi-pass door in secondary bedroom

UNIT NO. 337

No items noted

UNIT NO. 338

No items noted

UNIT NO. 339

No items noted

UNIT NO. 340

Touch-up casing and trim at front entry door

GENERAL ITEMS

All outlets to have matching coverplates  
Remove all metal coverplates and replace with plastic  
Install bumpers on all bi-pass doors  
Collect warranties and product information manual on water  
heater, range and refrigerator and provide them to the  
Owner.  
Check keying at all entry doors and at exterior storage  
rooms. Assure that tenant and owner keys work smoothly  
without bind  
Obtain Idaho Power GoodCents rebates

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 4

SITE

Note that no inspection of exterior was conducted. This work is to be accomplished when weather conditions allow. Final inspection of site will be conducted after Architect is advised that site items have been completed, inspected and found to be acceptable by the General Contractor.

Contractor is advised to assure that the following items are corrected prior to final inspection of the Site:

- Clean overspray/paint off vinyl window frames
- Reset/caulk/seal as required at hose bibbs/pressure relief  
turndown/waterproof elec. outlets. Repair siding as  
needed at those locations.
- Regrade site for drainage away from buildings
- Cut and caulk siding at concrete slabs to prevent water from  
"wicking" into siding.
- Open both ends of drains under walkways
- Install trash enclosures
- Install playground equipment
- Install landscaping and finish sprinkler system
- Touch-up exterior paint
- Install site lighting

NOV 16 1992

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

Page 1 of 2

UNIT D

(334): From previous inspection - GFI receptacle missing on end of  
sink cabinet.  
Thermostat behind refrigerator.

(336): GFI outlet loose in bath.  
Baseboard heater mounted under receptacle in west bedroom.

UNIT C

(339): No GFI protection on receptacle by range.

(340): Receptacle not installed in end of sink counter.  
Outside receptacle hooked to bath GFI.  
Receptacle by range not GFI protected.

GENERAL: Blank covers should match switch & receptacle covers.

(338): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.  
Panel cover upside down.

(337): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.

UNIT D

(328): Thermostat too close to refrigerator.

(326): Need screw in doorbell outside switch.  
Need cover on box in west bedroom.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT  
Signed *Jim*

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

THE FOLLOWING WAS NOTED:

UNIT D (con'd)

(325): Ground wire not hooked up on water heater pipe.

(327): Thermostat behind refrigerator.

Receptacle in kitchen area not completed.

GENERAL: Breakers not flush with panel covers.

Switchgear splices are not completed.

Outside receptacles should be a GFI receptacle.

Baths should have individual GFI receptacles.

BUILDING IV

(323): Missing TV hookup in living room.

Thermostat in kitchen behind refrigerator.

GFI in lower bath hooked to upper bath (Typ.)

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Hall lights do not work.

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Upstairs bath GFI loose.

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(332): Needs blank installed in panel (for breaker).


(330): Missing TV hookup in living room.

Receptacle by range not GFI protected.

Copies to Russell Corp.  
Smith Electric

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. at 10:30 AM at PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

Page 2 of 2

FIELD REPORT  
Signed 

# WHITE ENGINEERS

1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing-Caldwell, ID FIELD REPORT NO: Final-Phase I

CONTRACT: Mechanical

PROJECT NO: 672

DATE 11-13-92 TIME WEATHER TEMP. RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

## OBSERVATIONS

### 1. Two Story Units

A. Furnish and install wall plates on waste lines at fixtures.

B. Reverse shower (36" x 36") valves. They are upside down.

C. Remove water service valve handles and turn over to manager.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

Turn water service stop valves 90° and provide access door on building interior. This applies to valves in storage rooms.

## ATTACHMENTS

REPORT BY:



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**FINAL INSPECTION  
FARMWAY VILLAGE COMPLEX "B"  
NOVEMBER 13, 1992**

**Present at final inspection:**

Fred Marker - FmHA  
Ray Crowder - Architect

**UNIT NO. 321**

Touch-up at corners (ceiling) in Kitchen  
Check keying  
Move privacy hardware to M. Bedroom (upstairs)  
Install guide on Lower Level bi-pass door  
General cleanup

**UNIT NO. 322**

Check switching of interior lights  
Repair wall at outlet above Lav. in Upper Level bath  
Move privacy hardware to M. Bedroom (upstairs)  
General Cleanup  
Improve vinyl flooring at Upper Level  
Check keying / Adjust deadbolt

**UNIT NO. 323**

Range hood is loose  
Touch-up waterproof outlet at entry  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Vinyl flooring at Upper Level is NOT ACCEPTABLE  
Caulk edge of flooring around Bedroom and Bathroom doors

**UNIT NO. 324**

Install blind at Lower Level Bedroom  
Clean base at right of Range  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Clean stickers off Upper Level windows

**UNIT NO. 325**

Install gutters, downspouts, splashblocks  
Repair light at range hood  
General cleanup  
Paint is thin on entry door  
Additional insulation required in attic

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 2

UNIT NO. 326

Clean base at Laundry Closet  
Repair light at range hood  
Provide cover plate at M. Bedroom

UNIT NO. 327

Install tilt mirror  
Install shower seat  
Provide switched controls for range hood  
Provide cabinet-face electrical outlets in Kitchen  
Provide wheelchair access at Kitchen sink with removable  
cabinet face  
Caulk above bathroom sink  
Shelf in front of WH to be removeable (screw into place)

UNIT NO. 328

Broken light at Bathroom  
Install filter at range hood

UNIT NO. 329

Check sidewalk grade at entry; advise architect of actual  
slope per foot  
Seal/caulk at upper cabinets  
General cleanup  
Improve appearance of vinyl base throughout  
Repair bi-pass door guide at secondary bedroom  
Install door stop at M. Bedroom  
Move privacy hardware to M. Bedroom (Upper Level)  
General cleanup

UNIT NO. 330

Upper cabinets doors don't line-up  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 331

Upper cabinet doors at left of range need adjustment  
Noisy fan in Lower Level Bath  
Improve appearance of vinyl base throughout  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 332

Check sidewalk grade at entry / advise Architect of actual  
slope per foot  
Upper level vinyl is bumpy  
Install door stop at M. Bedroom  
Adjust bi-pass doors  
Broken self-edge at kitchen sink

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 3

UNIT NO. 333

Adjust deadbolt  
Caulk around pressure relief turn down at patio  
Adjust pocket door at bathroom

UNIT NO. 334

Move thermostat located behind refrigerator

UNIT NO. 335

Caulk at inside face of exterior storage room door  
Check keying

UNIT NO. 336

Install filter on range hood  
Replace metal cover plate in M. Bedroom with plastic to  
match.  
Provide cover plate on outlet in closet of M. Bedroom  
Provide guide for bi-pass door in secondary bedroom

UNIT NO. 337

No items noted

UNIT NO. 338

No items noted

UNIT NO. 339

No items noted

UNIT NO. 340

Touch-up casing and trim at front entry door

GENERAL ITEMS

All outlets to have matching coverplates  
Remove all metal coverplates and replace with plastic  
Install bumpers on all bi-pass doors  
Collect warranties and product information manual on water  
heater, range and refrigerator and provide them to the  
Owner.  
Check keying at all entry doors and at exterior storage  
rooms. Assure that tenant and owner keys work smoothly  
without bind  
Obtain Idaho Power GoodCents rebates



FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 4

SITE

Note that no inspection of exterior was conducted. This work is to be accomplished when weather conditions allow. Final inspection of site will be conducted after Architect is advised that site items have been completed, inspected and found to be acceptable by the General Contractor.

Contractor is advised to assure that the following items are corrected prior to final inspection of the Site:

- Clean overspray/paint off vinyl window frames
- Reset/caulk/seal as required at hose bibbs/pressure relief  
turndown/waterproof elec. outlets. Repair siding as  
needed at those locations.
- Regrade site for drainage away from buildings
- Cut and caulk siding at concrete slabs to prevent water from  
"wicking" into siding.
- Open both ends of drains under walkways
- Install trash enclosures
- Install playground equipment
- Install landscaping and finish sprinkler system
- Touch-up exterior paint
- Install site lighting

NOV 16 1992

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

Page 1 of 2

UNIT D

(334): From previous inspection - GFI receptacle missing on end of  
sink cabinet.  
Thermostat behind refrigerator.

(336): GFI outlet loose in bath.  
Baseboard heater mounted under receptacle in west bedroom.

UNIT C

(339): No GFI protection on receptacle by range.

(340): Receptacle not installed in end of sink counter.  
Outside receptacle hooked to bath GFI.  
Receptacle by range not GFI protected.

GENERAL: Blank covers should match switch & receptacle covers.


(338): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.  
Panel cover upside down.

(337): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.

UNIT D

(328): Thermostat too close to refrigerator.  
  
(326): Need screw in doorbell outside switch.  
Need cover on box in west bedroom.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT  
Signed 

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

THE FOLLOWING WAS NOTED:

UNIT D (con'd)

(325): Ground wire not hooked up on water heater pipe.

(327): Thermostat behind refrigerator.

Receptacle in kitchen area not completed.

GENERAL: Breakers not flush with panel covers.

Switchgear splices are not completed.

Outside receptacles should be a GFI receptacle.

Baths should have individual GFI receptacles.

BUILDING IV

(323): Missing TV hookup in living room.

Thermostat in kitchen behind refrigerator.

GFI in lower bath hooked to upper bath (Typ.)

(322): Missing TV hookup in living room.

Hall lights do not work.

(321): Need cover on box by shower in lower bath.

Upstairs bath GFI loose.

TV outlet not finished.

(332): Needs blank installed in panel (for breaker).


(330): Missing TV hookup in living room.

Receptacle by range not GFI protected.

Copies to Russell Corp.  
Smith Electric

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

Page 2 of 2

FIELD REPORT  
Signed 

# WHITE ENGINEERS

1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing-Caldwell, ID FIELD REPORT NO: Final-Phase I

CONTRACT: Mechanical

PROJECT NO: 672

DATE 11-13-92 TIME WEATHER TEMP. RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

## OBSERVATIONS

### 1. Two Story Units

A. Furnish and install wall plates on waste lines at fixtures.

B. Reverse shower (36" x 36") valves. They are upside down.

C. Remove water service valve handles and turn over to manager.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

Turn water service stop valves 90° and provide access door on building interior. This applies to valves in storage rooms.

## ATTACHMENTS

## REPORT BY:



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**FINAL INSPECTION  
FARMWAY VILLAGE COMPLEX "B"  
NOVEMBER 13, 1992**

**Present at final inspection:**

Fred Marker - FmHA  
Ray Crowder - Architect

**UNIT NO. 321**

Touch-up at corners (ceiling) in Kitchen  
Check keying  
Move privacy hardware to M. Bedroom (upstairs)  
Install guide on Lower Level bi-pass door  
General cleanup

**UNIT NO. 322**

Check switching of interior lights  
Repair wall at outlet above Lav. in Upper Level bath  
Move privacy hardware to M. Bedroom (upstairs)  
General Cleanup  
Improve vinyl flooring at Upper Level  
Check keying / Adjust deadbolt

**UNIT NO. 323**

Range hood is loose  
Touch-up waterproof outlet at entry  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Vinyl flooring at Upper Level is NOT ACCEPTABLE  
Caulk edge of flooring around Bedroom and Bathroom doors

**UNIT NO. 324**

Install blind at Lower Level Bedroom  
Clean base at right of Range  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Clean stickers off Upper Level windows

**UNIT NO. 325**

Install gutters, downspouts, splashblocks  
Repair light at range hood  
General cleanup  
Paint is thin on entry door  
Additional insulation required in attic

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 2

UNIT NO. 326

Clean base at Laundry Closet  
Repair light at range hood  
Provide cover plate at M. Bedroom

UNIT NO. 327

Install tilt mirror  
Install shower seat  
Provide switched controls for range hood  
Provide cabinet-face electrical outlets in Kitchen  
Provide wheelchair access at Kitchen sink with removable  
cabinet face  
Caulk above bathroom sink  
Shelf in front of WH to be removeable (screw into place)

UNIT NO. 328

Broken light at Bathroom  
Install filter at range hood

UNIT NO. 329

Check sidewalk grade at entry; advise architect of actual  
slope per foot  
Seal/caulk at upper cabinets  
General cleanup  
Improve appearance of vinyl base throughout  
Repair bi-pass door guide at secondary bedroom  
Install door stop at M. Bedroom  
Move privacy hardware to M. Bedroom (Upper Level)  
General cleanup

UNIT NO. 330

Upper cabinets doors don't line-up  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 331

Upper cabinet doors at left of range need adjustment  
Noisy fan in Lower Level Bath  
Improve appearance of vinyl base throughout  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 332

Check sidewalk grade at entry / advise Architect of actual  
slope per foot  
Upper level vinyl is bumpy  
Install door stop at M. Bedroom  
Adjust bi-pass doors  
Broken self-edge at kitchen sink

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 3

UNIT NO. 333

Adjust deadbolt  
Caulk around pressure relief turn down at patio  
Adjust pocket door at bathroom

UNIT NO. 334

Move thermostat located behind refrigerator

UNIT NO. 335

Caulk at inside face of exterior storage room door  
Check keying

UNIT NO. 336

Install filter on range hood  
Replace metal cover plate in M. Bedroom with plastic to match.  
Provide cover plate on outlet in closet of M. Bedroom  
Provide guide for bi-pass door in secondary bedroom

UNIT NO. 337

No items noted

UNIT NO. 338

No items noted

UNIT NO. 339

No items noted

UNIT NO. 340

Touch-up casing and trim at front entry door

GENERAL ITEMS

All outlets to have matching coverplates  
Remove all metal coverplates and replace with plastic  
Install bumpers on all bi-pass doors  
Collect warranties and product information manual on water heater, range and refrigerator and provide them to the Owner.  
Check keying at all entry doors and at exterior storage rooms. Assure that tenant and owner keys work smoothly without bind  
Obtain Idaho Power GoodCents rebates

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 4

#### SITE

Note that no inspection of exterior was conducted. This work is to be accomplished when weather conditions allow. Final inspection of site will be conducted after Architect is advised that site items have been completed, inspected and found to be acceptable by the General Contractor.

Contractor is advised to assure that the following items are corrected prior to final inspection of the Site:

- Clean overspray/paint off vinyl window frames
- Reset/caulk/seal as required at hose bibbs/pressure relief turndown/waterproof elec. outlets. Repair siding as needed at those locations.
- Regrade site for drainage away from buildings
- Cut and caulk siding at concrete slabs to prevent water from "wicking" into siding.
- Open both ends of drains under walkways
- Install trash enclosures
- Install playground equipment
- Install landscaping and finish sprinkler system
- Touch-up exterior paint
- Install site lighting



NOV 16 1992

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

Page 1 of 2

UNIT D

(334): From previous inspection - GFI receptacle missing on end of  
sink cabinet.  
Thermostat behind refrigerator.

(336): GFI outlet loose in bath.  
Baseboard heater mounted under receptacle in west bedroom.

UNIT C

(339): No GFI protection on receptacle by range.

(340): Receptacle not installed in end of sink counter.  
Outside receptacle hooked to bath GFI.  
Receptacle by range not GFI protected.

GENERAL: Blank covers should match switch & receptacle covers.

(338): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.  
Panel cover upside down.

(337): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.

UNIT D

(328): Thermostat too close to refrigerator.  
  
(326): Need screw in doorbell outside switch.  
Need cover on box in west bedroom.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT

Signed

*[Signature]*

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

UNIT D (con'd)

Page 2 of 2

(325): Ground wire not hooked up on water heater pipe.

(327): Thermostat behind refrigerator.

Receptacle in kitchen area not completed.

GENERAL: Breakers not flush with panel covers.

Switchgear splices are not completed.

Outside receptacles should be a GFI receptacle.

Baths should have individual GFI receptacles.

BUILDING IV

(323): Missing TV hookup in living room.

Thermostat in kitchen behind refrigerator.

GFI in lower bath hooked to upper bath (Typ.)

(322): Missing TV hookup in living room.

Hall lights do not work.

(321): Need cover on box by shower in lower bath.

Upstairs bath GFI loose.


TV outlet not finished.

(332): Needs blank installed in panel (for breaker).

(330): Missing TV hookup in living room.

Receptacle by range not GFI protected.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT  
Signed 

# WHITE ENGINEERS

1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing-Caldwell, ID FIELD REPORT NO: Final-Phase I

CONTRACT: Mechanical

PROJECT NO: 672

DATE 11-13-92 TIME WEATHER TEMP. RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

## OBSERVATIONS

### 1. Two Story Units

A. Furnish and install wall plates on waste lines at fixtures.

B. Reverse shower (36" x 36") valves. They are upside down.

C. Remove water service valve handles and turn over to manager.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

Turn water service stop valves 90° and provide access door on building interior. This applies to valves in storage rooms.

## ATTACHMENTS

REPORT BY:



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**FINAL INSPECTION  
FARMWAY VILLAGE COMPLEX "B"  
NOVEMBER 13, 1992**

**Present at final inspection:**

Fred Marker - FmHA  
Ray Crowder - Architect

**UNIT NO. 321**

Touch-up at corners (ceiling) in Kitchen  
Check keying  
Move privacy hardware to M. Bedroom (upstairs)  
Install guide on Lower Level bi-pass door  
General cleanup

**UNIT NO. 322**

Check switching of interior lights  
Repair wall at outlet above Lav. in Upper Level bath  
Move privacy hardware to M. Bedroom (upstairs)  
General Cleanup  
Improve vinyl flooring at Upper Level  
Check keying / Adjust deadbolt

**UNIT NO. 323**

Range hood is loose  
Touch-up waterproof outlet at entry  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Vinyl flooring at Upper Level is NOT ACCEPTABLE  
Caulk edge of flooring around Bedroom and Bathroom doors

**UNIT NO. 324**

Install blind at Lower Level Bedroom  
Clean base at right of Range  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Clean stickers off Upper Level windows

**UNIT NO. 325**

Install gutters, downspouts, splashblocks  
Repair light at range hood  
General cleanup  
Paint is thin on entry door  
Additional insulation required in attic

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 2

UNIT NO. 326

Clean base at Laundry Closet  
Repair light at range hood  
Provide cover plate at M. Bedroom

UNIT NO. 327

Install tilt mirror  
Install shower seat  
Provide switched controls for range hood  
Provide cabinet-face electrical outlets in Kitchen  
Provide wheelchair access at Kitchen sink with removable cabinet face  
Caulk above bathroom sink  
Shelf in front of WH to be removeable (screw into place)

UNIT NO. 328

Broken light at Bathroom  
Install filter at range hood

UNIT NO. 329

Check sidewalk grade at entry; advise architect of actual slope per foot  
Seal/caulk at upper cabinets  
General cleanup  
Improve appearance of vinyl base throughout  
Repair bi-pass door guide at secondary bedroom  
Install door stop at M. Bedroom  
Move privacy hardware to M. Bedroom (Upper Level)  
General cleanup

UNIT NO. 330

Upper cabinets doors don't line-up  
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General cleanup

UNIT NO. 331

Upper cabinet doors at left of range need adjustment  
Noisy fan in Lower Level Bath  
Improve appearance of vinyl base throughout  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 332

Check sidewalk grade at entry / advise Architect of actual slope per foot  
Upper level vinyl is bumpy  
Install door stop at M. Bedroom  
Adjust bi-pass doors  
Broken self-edge at kitchen sink

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 3

UNIT NO. 333

Adjust deadbolt  
Caulk around pressure relief turn down at patio  
Adjust pocket door at bathroom

UNIT NO. 334

Move thermostat located behind refrigerator

UNIT NO. 335

Caulk at inside face of exterior storage room door  
Check keying

UNIT NO. 336

Install filter on range hood  
Replace metal cover plate in M. Bedroom with plastic to match.  
Provide cover plate on outlet in closet of M. Bedroom  
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UNIT NO. 337

No items noted

UNIT NO. 338

No items noted

UNIT NO. 339

No items noted

UNIT NO. 340

Touch-up casing and trim at front entry door

GENERAL ITEMS

All outlets to have matching coverplates  
Remove all metal coverplates and replace with plastic  
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Collect warranties and product information manual on water heater, range and refrigerator and provide them to the Owner.  
Check keying at all entry doors and at exterior storage rooms. Assure that tenant and owner keys work smoothly without bind  
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FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 4

SITE

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- Touch-up exterior paint
- Install site lighting

NOV 16 1992

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

Page 1 of 2

UNIT D

(334): From previous inspection - GFI receptacle missing on end of  
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(338): Outside receptacle on bath GFI.  
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Panel cover upside down.

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UNIT D

(328): Thermostat too close to refrigerator.

(326): Need screw in doorbell outside switch.  
Need cover on box in west bedroom.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT  
Signed *[Signature]*



WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
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TO Crowder & Associates  
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DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

UNIT D (con'd)

Page 2 of 2

(325): Ground wire not hooked up on water heater pipe.

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(330): Missing TV hookup in living room.

Receptacle by range not GFI protected.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT  
Signed 

# WHITE ENGINEERS

1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing-Caldwell, ID FIELD REPORT NO: Final-Phase I

CONTRACT: Mechanical

PROJECT NO: 672

DATE 11-13-92 TIME WEATHER TEMP.RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

## OBSERVATIONS

### 1. Two Story Units

A. Furnish and install wall plates on waste lines at fixtures.

B. Reverse shower (36" x 36") valves. They are upside down.

C. Remove water service valve handles and turn over to manager.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

Turn water service stop valves 90° and provide access door on building interior. This applies to valves in storage rooms.

## ATTACHMENTS

REPORT BY:



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE RD. • SUITE 280  
BOISE, IDAHO 83704 • (208) 377-2870  
FAX (208) 322-5886

**FINAL INSPECTION  
FARMWAY VILLAGE COMPLEX "B"  
NOVEMBER 13, 1992**

**Present at final inspection:**

Fred Marker - FmHA  
Ray Crowder - Architect

**UNIT NO. 321**

Touch-up at corners (ceiling) in Kitchen  
Check keying  
Move privacy hardware to M. Bedroom (upstairs)  
Install guide on Lower Level bi-pass door  
General cleanup

**UNIT NO. 322**

Check switching of interior lights  
Repair wall at outlet above Lav. in Upper Level bath  
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Improve vinyl flooring at Upper Level  
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Touch-up waterproof outlet at entry  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Vinyl flooring at Upper Level is NOT ACCEPTABLE  
Caulk edge of flooring around Bedroom and Bathroom doors

**UNIT NO. 324**

Install blind at Lower Level Bedroom  
Clean base at right of Range  
General cleanup  
Move privacy hardware to M. Bedroom (upstairs)  
Clean stickers off Upper Level windows

**UNIT NO. 325**

Install gutters, downspouts, splashblocks  
Repair light at range hood  
General cleanup  
Paint is thin on entry door  
Additional insulation required in attic

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 2

UNIT NO. 326

Clean base at Laundry Closet  
Repair light at range hood  
Provide cover plate at M. Bedroom

UNIT NO. 327

Install tilt mirror  
Install shower seat  
Provide switched controls for range hood  
Provide cabinet-face electrical outlets in Kitchen  
Provide wheelchair access at Kitchen sink with removable  
cabinet face  
Caulk above bathroom sink  
Shelf in front of WH to be removeable (screw into place)

UNIT NO. 328

Broken light at Bathroom  
Install filter at range hood

UNIT NO. 329

Check sidewalk grade at entry; advise architect of actual  
slope per foot  
Seal/caulk at upper cabinets  
General cleanup  
Improve appearance of vinyl base throughout  
Repair bi-pass door guide at secondary bedroom  
Install door stop at M. Bedroom  
Move privacy hardware to M. Bedroom (Upper Level)  
General cleanup

UNIT NO. 330

Upper cabinets doors don't line-up  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 331

Upper cabinet doors at left of range need adjustment  
Noisy fan in Lower Level Bath  
Improve appearance of vinyl base throughout  
Install door stop at M. Bedroom  
General cleanup

UNIT NO. 332

Check sidewalk grade at entry / advise Architect of actual  
slope per foot  
Upper level vinyl is bumpy  
Install door stop at M. Bedroom  
Adjust bi-pass doors  
Broken self-edge at kitchen sink

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 3

UNIT NO. 333

Adjust deadbolt  
Caulk around pressure relief turn down at patio  
Adjust pocket door at bathroom

UNIT NO. 334

Move thermostat located behind refrigerator

UNIT NO. 335

Caulk at inside face of exterior storage room door  
Check keying

UNIT NO. 336

Install filter on range hood  
Replace metal cover plate in M. Bedroom with plastic to  
match.  
Provide cover plate on outlet in closet of M. Bedroom  
Provide guide for bi-pass door in secondary bedroom

UNIT NO. 337

No items noted

UNIT NO. 338

No items noted

UNIT NO. 339

No items noted

UNIT NO. 340

Touch-up casing and trim at front entry door

GENERAL ITEMS

All outlets to have matching coverplates  
Remove all metal coverplates and replace with plastic  
Install bumpers on all bi-pass doors  
Collect warranties and product information manual on water  
heater, range and refrigerator and provide them to the  
Owner.  
Check keying at all entry doors and at exterior storage  
rooms. Assure that tenant and owner keys work smoothly  
without bind  
Obtain Idaho Power GoodCents rebates

FARMWAY VILLAGE  
FINAL INSPECTION - COMPLEX B  
NOVEMBER 13, 1992  
PAGE 4

SITE

Note that no inspection of exterior was conducted. This work is to be accomplished when weather conditions allow. Final inspection of site will be conducted after Architect is advised that site items have been completed, inspected and found to be acceptable by the General Contractor.

Contractor is advised to assure that the following items are corrected prior to final inspection of the Site:

- Clean overspray/paint off vinyl window frames
- Reset/caulk/seal as required at hose bibbs/pressure relief  
turndown/waterproof elec. outlets. Repair siding as  
needed at those locations.
- Regrade site for drainage away from buildings
- Cut and caulk siding at concrete slabs to prevent water from  
"wicking" into siding.
- Open both ends of drains under walkways
- Install trash enclosures
- Install playground equipment
- Install landscaping and finish sprinkler system
- Touch-up exterior paint
- Install site lighting

NOV 16 1992

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

THE FOLLOWING WAS NOTED:

Page 1 of 2

UNIT D

(334): From previous inspection - GFI receptacle missing on end of  
sink cabinet.  
Thermostat behind refrigerator.

(336): GFI outlet loose in bath.  
Baseboard heater mounted under receptacle in west bedroom.

UNIT C

(339): No GFI protection on receptacle by range.

(340): Receptacle not installed in end of sink counter.  
Outside receptacle hooked to bath GFI.  
Receptacle by range not GFI protected.

GENERAL: Blank covers should match switch & receptacle covers.

(338): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.  
Panel cover upside down.

(337): Outside receptacle on bath GFI.  
No GFI protection on receptacle by range.

UNIT D

(328): Thermostat too close to refrigerator.

(326): Need screw in doorbell outside switch.  
Need cover on box in west bedroom.

Copies to Russell Corp.  
Smith Electric

FIELD REPORT

Signed

*Jim*

WILLMORTH ENGINEERING, P.A.  
2995 N. Cole Road, Suite 250  
Boise, ID 83704  
(208) 376-4673

TO Crowder & Associates  
2995 N. Cole Road, Ste. 280  
Boise, ID 83704

THE FOLLOWING WAS NOTED:

UNIT D (con'd)

(325): Ground wire not hooked up on water heater pipe.

(327): Thermostat behind refrigerator.

Receptacle in kitchen area not completed.

GENERAL: Breakers not flush with panel covers.

Switchgear splices are not completed.

Outside receptacles should be a GFI receptacle.

Baths should have individual GFI receptacles.

BUILDING IV

(323): Missing TV hookup in living room.

Thermostat in kitchen behind refrigerator.

GFI in lower bath hooked to upper bath (Typ.)

(322): Missing TV hookup in living room.

Hall lights do not work.

(321): Need cover on box by shower in lower bath.

Upstairs bath GFI loose.

TV outlet not finished.

(332): Needs blank installed in panel (for breaker).


(330): Missing TV hookup in living room.

Receptacle by range not GFI protected.

Copies to Russell Corp.  
Smith Electric

DATE	11/13/92	JOB NO.	91100
PROJECT	Caldwell Housing Authority		
LOCATION	Canyon County		
CONTRACTOR	OWNER CHA		
WEATHER	TEMP. _____ at 10:30 AM _____ at _____ PM		
PRESENT AT SITE			
General Contractor			
Ray Crowder			

Page 2 of 2

FIELD REPORT  
Signed 



# WHITE ENGINEERS

1707 LINDA VISTA LANE  
BOISE, IDAHO 83704  
(208)375-3581

PROJECT: Farmway Housing-Caldwell, ID FIELD REPORT NO: Final-Phase I

CONTRACT: Mechanical

PROJECT NO: 672

DATE 11-13-92 TIME WEATHER TEMP. RANGE

EST.% OF COMPLETION CONFORMANCE WITH SCHEDULE(+,-)

WORK IN PROGRESS PRESENT AT SITE White

Crowder

## OBSERVATIONS

### 1. Two Story Units

A. Furnish and install wall plates on waste lines at fixtures.

B. Reverse shower (36" x 36") valves. They are upside down.

C. Remove water service valve handles and turn over to manager.

## ITEMS TO VERIFY

## INFORMATION OR ACTION REQUIRED

Turn water service stop valves 90° and provide access door on building interior. This applies to valves in storage rooms.

## ATTACHMENTS

## REPORT BY:



**CROWDER ASSOCIATES  
ARCHITECTURE & PLANNING**

2995 N. COLE ROAD • SUITE 280 • BOISE, IDAHO 83704

(208) 377-2870

FAX (208) 322-5886

FARMWAY VILLAGE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

**COMPLEX A - FINAL INSPECTION  
December 17, 1992**

Present: Fred Marker  
Ray Crowder

**SITE**

Because of winter weather conditions, site and building exteriors are not included in this Final Inspection. Exterior items will be deferred pending favorable weather conditions.

**GENERAL ITEMS**

At entry patios where flush clean-out caps have been installed, caulk or seal around concrete as required  
Contractor to check attic insulation at all units  
Caulk at each side of all window sills

**UNIT #201**

General cleanup  
Repair wall at water heater J-box  
Install missing blind in upper level bedroom  
Repair nail pop above access panel on stairway  
Replace upper section of handrail on stairway  
Repair leaky toilet valve at lower level bath  
Repair vinyl gouge at secondary bedroom, upper level

**UNIT #202**

Install sidesplash adjacent to range  
Improve base in M. Bedroom closet

**UNIT #203**

General cleanup  
Install upper cabinet and finish installation of back on dining room cabinets  
Install sidesplash adjacent to range  
Repair door at bi-pass in M. Bedroom  
Upper cabinet at left of range has loose screws  
Install electrical panel cover  
Repair vinyl tear at M. Bedroom door  
Install larger bumpers on bi-pass doors

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 2

UNIT #204

Install toe-kick heater in kitchen  
Touch-up wall at door and at outlets in M. Bedroom  
Install bumper on range hood to protect cabinet door  
Touch-up wall at thermostat in upper bathroom  
Adjust M. Bedroom door

UNIT #205

Touch-up paint at entry door latch

UNIT #206

Install proper shower curtain

UNIT #207

Touch-up ceiling at attic access panel in M. Bedroom  
Fill holes in Bathroom wall  
Touch-up paint at laundry area

UNIT #208

Adjust damper in range hood

UNIT #209

Install sidesplash adjacent to range

UNIT #210

Install sidesplash adjacent to range  
Improve appearance of base in M. Bedroom  
Repair vinyl ridges, bumps and cuts at secondary bedroom closet

UNIT #211

Install door bumper on range hood to protect cabinet door  
Install sidesplash adjacent to range  
Repair damaged door handle on range  
Properly install escutcheon at water heater

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 3

UNIT #212

Provide missing valence on blinds in secondary bedroom  
Bi-pass doors not in guides at Master & secondary bedroom  
Touch-up flooring seam at each bedroom at upper level  
Add cabinet bumper on range hood  
Adjust entry door for better seal  
Clean entry door

UNIT #213

Install all television cover plates  
Repair wall/base beneath outlet in M. Bedroom

UNIT #214

Install all television cover plates  
Repair seams in floors at bedrooms  
Repair door latch at exterior storage room door, adjust to  
close tightly

UNIT #215

Install shower head on slide bar  
Install folding seat  
Improve appearance of base in secondary bedroom  
Insulate exposed hot water lines beneath kitchen and  
bathroom sinks  
Install sliding shelf in cabinet at left of range

UNIT #216

Touch-up attic access at secondary bedroom  
Touch-up wall beside shower

UNIT #217

Check and clean vinyl seams throughout

UNIT #218

Improve installation of hood/light at range  
Touch-up cover plate at kitchen bar countertop  
Repair vinyl tear at secondary bedroom door  
Align upper cabinet doors over sink

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 4

UNIT #219

Finish repair of ceiling between dining and hallway  
Replace backsplash at range  
Move towel bar away from T-stat in bathroom  
Repair bumps in vinyl at door to secondary bedroom

UNIT #220

Install valence on blinds throughout  
Paint around entry door latch  
Align upper cabinet doors

OTHER ITEMS

If feasible, cut shelf cleats to match shelf depth  
Provide occupancy permits  
Provide certifications for insulation  
Provide warranties for appliances and water heaters



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FARMWAY VILLAGE  
FINAL INSPECTION  
Page 2

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FARMWAY VILLAGE  
FINAL INSPECTION  
Page 3

UNIT #212

Provide missing valence on blinds in secondary bedroom  
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Touch-up flooring seam at each bedroom at upper level  
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Clean entry door

UNIT #213

Install all television cover plates  
Repair wall/base beneath outlet in M. Bedroom

UNIT #214

Install all television cover plates  
Repair seams in floors at bedrooms  
Repair door latch at exterior storage room door, adjust to  
close tightly

UNIT #215

Install shower head on slide bar  
Install folding seat  
Improve appearance of base in secondary bedroom  
Insulate exposed hot water lines beneath kitchen and  
bathroom sinks  
Install sliding shelf in cabinet at left of range

UNIT #216

Touch-up attic access at secondary bedroom  
Touch-up wall beside shower

UNIT #217

Check and clean vinyl seams throughout

UNIT #218

Improve installation of hood/light at range  
Touch-up cover plate at kitchen bar countertop  
Repair vinyl tear at secondary bedroom door  
Align upper cabinet doors over sink



FARMWAY VILLAGE  
FINAL INSPECTION  
Page 4

UNIT #219

Finish repair of ceiling between dining and hallway  
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UNIT #220

Install valence on blinds throughout  
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Align upper cabinet doors

OTHER ITEMS

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FARMWAY VILLAGE  
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**COMPLEX A - FINAL INSPECTION**

December 17, 1992

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Ray Crowder

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FARMWAY VILLAGE  
FINAL INSPECTION  
Page 2

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FARMWAY VILLAGE  
FINAL INSPECTION  
Page 3

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UNIT #215

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Improve appearance of base in secondary bedroom  
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bathroom sinks  
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UNIT #216

Touch-up attic access at secondary bedroom  
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UNIT #217

Check and clean vinyl seams throughout

UNIT #218

Improve installation of hood/light at range  
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Repair vinyl tear at secondary bedroom door  
Align upper cabinet doors over sink

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 4

UNIT #219

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Replace backsplash at range  
Move towel bar away from T-stat in bathroom  
Repair bumps in vinyl at door to secondary bedroom

UNIT #220

Install valence on blinds throughout  
Paint around entry door latch  
Align upper cabinet doors

OTHER ITEMS

If feasible, cut shelf cleats to match shelf depth  
Provide occupancy permits  
Provide certifications for insulation  
Provide warranties for appliances and water heaters



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Present: Fred Marker  
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FARMWAY VILLAGE  
FINAL INSPECTION  
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FARMWAY VILLAGE  
FINAL INSPECTION  
Page 3

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bathroom sinks  
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UNIT #218

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Align upper cabinet doors over sink



FARMWAY VILLAGE  
FINAL INSPECTION  
Page 4

UNIT #219

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UNIT #220

Install valence on blinds throughout  
Paint around entry door latch  
Align upper cabinet doors

OTHER ITEMS

If feasible, cut shelf cleats to match shelf depth  
Provide occupancy permits  
Provide certifications for insulation  
Provide warranties for appliances and water heaters



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ARCHITECTURE & PLANNING**

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FARMWAY VILLAGE  
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CALDWELL, IDAHO

COMPLEX A - FINAL INSPECTION  
December 17, 1992

Present: Fred Marker  
Ray Crowder

**SITE**

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**GENERAL ITEMS**

At entry patios where flush clean-out caps have been installed, caulk or seal around concrete as required  
Contractor to check attic insulation at all units  
Caulk at each side of all window sills

**UNIT #201**

General cleanup  
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FARMWAY VILLAGE  
FINAL INSPECTION

Page 2

UNIT #204

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FARMWAY VILLAGE  
FINAL INSPECTION  
Page 3

UNIT #212

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Adjust entry door for better seal  
Clean entry door

UNIT #213

Install all television cover plates  
Repair wall/base beneath outlet in M. Bedroom

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Check and clean vinyl seams throughout

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Improve installation of hood/light at range  
Touch-up cover plate at kitchen bar countertop  
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Align upper cabinet doors over sink

FARMWAY VILLAGE  
FINAL INSPECTION  
Page 4

UNIT #219

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OTHER ITEMS

If feasible, cut shelf cleats to match shelf depth  
Provide occupancy permits  
Provide certifications for insulation  
Provide warranties for appliances and water heaters

# CERTIFICATE OF SUBSTANTIAL COMPLETION

AIA DOCUMENT G704

(Instructions on reverse side)

OWNER ☒  
ARCHITECT ☒  
CONTRACTOR ☒  
FIELD ☐  
OTHER ☒

**PROJECT:**

(Name and address)

FARMWAY VILLAGE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

PROJECT NO.: 91-001

CONTRACT FOR: GENERAL CONSTRUCTION  
CONTRACT DATE: MAY 6, 1992

**TO OWNER:**

(Name and address)

HOUSING AUTHORITY OF THE  
CITY OF CALDWELL  
P.O. BOX 70  
CALDWELL, IDAHO 83606

**TO CONTRACTOR:**

(Name and address)

THE RUSSELL CORP.  
8150 EMERALD ST.  
SUITE 100  
BOISE, IDAHO 83704

DATE OF ISSUANCE: NOVEMBER 13, 1992

PROJECT OR DESIGNATED PORTION SHALL INCLUDE:

INTERIOR OF COMPLEX "B" COMPLETE WITH OCCUPANCY PERMIT; ALL EXTERIOR  
WORK DELAYED UNTIL IMPROVED WEATHER CONDITIONS ALLOW COMPLETION OF  
EXTERIOR ITEMS.

The Work performed under this Contract has been reviewed and found, to the Architect's best knowledge, information and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion thereof designated above is hereby established as

which is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below:

A list of items to be completed or corrected is attached hereto. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

CROWDER ASSOCIATES  
ARCHITECT

BY

11-13-92  
DATE

The Contractor will complete or correct the Work on the list of items attached hereto within 90 days from the above date of Substantial Completion.

THE RUSSELL CORP.  
CONTRACTOR

BY

11-13-92  
DATE

The Owner accepts the Work or designated portion thereof as substantially complete and will assume full possession thereof at 12:01 A.M. (time) on 11-14-92 (date).

HOUSING AUTHORITY OF THE  
CITY OF CALDWELL  
OWNER

BY

11-13-92  
DATE

The responsibilities of the Owner and the Contractor for security, maintenance, heat, utilities, damage to the Work and insurance shall be as follows

(Note—Owner's and Contractor's legal and insurance counsel should determine and review insurance requirements and coverage.)



**CAUTION:** You should use an original AIA document which has this caution printed in red. An original assures that changes will not be obscured as may occur when documents are reproduced.



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G704-1992

# INSTRUCTION SHEET

## FOR AIA DOCUMENT G704, CERTIFICATE OF SUBSTANTIAL COMPLETION

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### A. GENERAL INFORMATION

#### 1. Purpose

This document was developed to establish the date of Substantial Completion for the purpose of commencement of applicable warranties and to allow the Owner to occupy or utilize the Work or designated portion thereof.

#### 2. Related Documents

This document was prepared for use under the terms of AIA Document A201, General Conditions of the Contract for Construction, under the general conditions contained in AIA Documents A107 and A117, and under other AIA general conditions beginning with the 1987 editions.

#### 3. Use of Current Documents

Prior to using any AIA document, the user should consult the AIA, an AIA component chapter or a current AIA Documents List to determine the current edition of each document.

#### 4. Limited License for Reproduction

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A limited license is hereby granted to retail purchasers to reproduce a maximum of ten copies of a completed or executed G704, but only for use in connection with a particular Project.

### B. COMPLETING THE G704 FORM

1. After the words "Project or Designated Portion shall include:", insert a detailed description of the Project or portion(s) of the Project that have been accepted as being substantially complete.
2. Determine Work to be completed.  
Provide a list of items that are to be completed or corrected.  
Determine dates for completion of the Work.  
Establish an amount to be withheld to complete the Work.

### C. EXECUTION OF THE DOCUMENT

The G704 document should be executed in not less than triplicate by the Owner, Architect and Contractor, each of whom retains an original.

# CERTIFICATE OF SUBSTANTIAL COMPLETION

AIA DOCUMENT G704

(Instructions on reverse side)

OWNER ☒  
ARCHITECT ☒  
CONTRACTOR ☒  
FIELD ☐  
OTHER ☒

APR 5 - 1993

**PROJECT:**

(Name and address)

FARMWAY VILLAGE  
FARM LABOR HOUSING  
CALDWELL, IDAHO

PROJECT NO.: 91-001

R: GENERAL CONSTRUCTION  
E: MAY 6, 1992

**TO OWNER:**

(Name and address)

HOUSING AUTHORITY OF  
CITY OF CALDWELL  
P.O. BOX 70  
CALDWELL, IDAHO 83601

R: THE RUSSELL CORP.  
8150 EMERALD ST.  
SUITE 100  
BOISE, IDAHO 83704

*File  
copies*

DATE OF ISSUANCE: DEC. 17, 1992

PROJECT OR DESIGNATED PORTION SHALL INCLUDE:

INTERIOR OF COMPLEX "A" COMPLETE WITH OCCUPANCY PERMIT; ALL EXTERIOR  
WORK DELAYED UNTIL IMPROVED WEATHER CONDITIONS ALLOW COMPLETION OF  
EXTERIOR ITEMS

The Work performed under this Contract has been reviewed and found, to the Architect's best knowledge, information and belief, to be substantially complete. Substantial Completion is the stage in the progress of the Work when the Work or designated portion thereof is sufficiently complete in accordance with the Contract Documents so the Owner can occupy or utilize the Work for its intended use. The date of Substantial Completion of the Project or portion thereof designated above is hereby established as

which is also the date of commencement of applicable warranties required by the Contract Documents, except as stated below:

A list of items to be completed or corrected is attached hereto. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents

CROWDER ASSOCIATES  
ARCHITECT

BY

*[Signature]*  
12-17-92  
DATE

The Contractor will complete or correct the Work on the list of items attached hereto within 60 days from the above date of Substantial Completion.

THE RUSSELL CORP.  
CONTRACTOR

BY

*[Signature]*  
12-17-92  
DATE

The Owner accepts the Work or designated portion thereof as substantially complete and will assume full possession thereof at 12:01 A.M. (time) on 12-19-92 (date).

HOUSING AUTHORITY OF THE  
CITY OF CALDWELL  
OWNER

BY

*[Signature]*  
12-17-92  
DATE

The responsibilities of the Owner and the Contractor for security, maintenance, heat, utilities, damage to the Work and insurance shall be as follows:

(Note—Owner's and Contractor's legal and insurance counsel should determine and review insurance requirements and coverage.)



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# INSTRUCTION SHEET

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Farmway Village

INSPECTION REPORT

STATE Idaho

FOR Russell Corporation COUNTY Canyon

ADDRESS \_\_\_\_\_

ITEM OF DEVELOPMENT	PERCENT COMPLETE	ITEM OF DEVELOPMENT	PERCENT COMPLETE
<u>Exterior Building</u>			
<u>Walks, driveways etc.</u>			
<u>NOTE: this inspection does not consider Fine Gardening,</u>			
<u>irrigation or landscaping</u>			

PERIODIC INSPECTION

Date & No. of previous inspection: \_\_\_\_\_

This inspection is Number \_\_\_\_\_

ITEMIZE AND DESCRIBE the significant conditions observed to be at variance with the approved plans and specifications and make your recommendations for correcting the deficiencies. Also make comments with respect to the progress of the work. In the case of development performed by the borrower method, carefully compare work accomplished with funds available and record any facts which indicate that actual costs are significantly at variance with planned costs. Check to see that deficiencies previously reported have been corrected.

See attached Report

Copy to  
Dave Lindero  
Farmway Village

(See attached sheets for additional comments)

DATE 7-30-92 SIGNED Paul J. Mark RLS

Indicate whether: ☒ FmHA Representative, or  
☐ Contractor

FINAL INSPECTION

I CERTIFY that I have inspected for the purposes set forth in 7 CFR 1924 Subpart A and 7 CFR 1942 Subpart A, the above listed items of development and that those shown as 100% complete have been completed in accordance with the Drawings and Specifications or other descriptive material. Health Department approval has been given the water and waste

disposal system on (date) \_\_\_\_\_, Builder's Warranty is dated \_\_\_\_\_

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

FmHA Representative

The undersigned gives approval of acceptance of the work constructed under the conditions of the contract and Builder's Warrantv.

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

Borrower

DATE \_\_\_\_\_ SIGNED \_\_\_\_\_

Builder (Optional)

SEE REVERSE FOR CHECK LIST & INSPECTION GUIDE

FmHA 1924-12 (Rev. 2/87)

7-30-92, met with the following people and reviewed  
the exterior buildings:

TED PARROTT	Russell Corp. Superintendent
DAVE LINDEN	PROJECT manager
Ray Crowder	Project Architect

We reviewed several exterior of buildings previously reviewed by the above and determined that the punch list was not satisfactorily completed. Mr PARROTT was to discuss painting problems with his SUB CONTRACTOR and call for a reinspection. The contract time period has expired and liquidated damages will need to be considered. FMHA will require that Owner AND ARCHITECT Reinspect to assure all items on work list dated July 28, 1993 have been corrected prior to further FMHA inspections.

FRED L. MARKER  
DLS

USDA-FmHA  
Form FmHA 1924-18  
(Rev. 2/87)

## PARTIAL PAYMENT ESTIMATE

**CONTRACT NO.**

~~PARTIAL PAYMENT ESTIMATE NO.~~

#2

PAGE

OF

OWNER:  
Housing Authority Of The  
City Of Caldwell

**CONTRACTOR:**

The Russell Corporation

PERIOD OF ESTIMATE

FROM 06/01/92 TO 07/01/92

### CONTRACT CHANGE ORDER SUMMARY

## ESTIMATE

[illegible]

1. Original Contract	\$ 2,726,700.00	
2. Change Orders	\$ 4,025.00	
3. Revised Contract (1 + 2)	\$ 2,730,725.00	
4. Work Completed *	\$ 318,800.00	
5. Stored Materials *	\$ 204,000.00	180,000
6. Subtotal (4 + 5)	\$ 522,800.00	498,800
7. Retainage *	\$ 52,280.00	49,880
8. Previous Payments	\$ 112,950.00	-
9. Amount Due (6-7-8)	\$ 357,570.00	335,970

\* Detailed breakdown attached

**CONTRACT TIME**

**Original (days)** \_\_\_\_\_

Revised \_\_\_\_\_

Remaining \_\_\_\_\_

### On Schedule

☐ Yes

Starting Date

☐ No

### Projected Completion

**CONTRACTOR'S CERTIFICATION:**

The undersigned Contractor certifies that to the best of their knowledge, information and belief the work covered by this payment estimate has been completed in accordance with the contract documents, that all amounts have been paid by the contractor for work for which previous payment estimates was issued and payments received from the owner, and that current payment shown herein is now due.

Contractor The Russell Corporation

By Neal H. Russell  
Neal H. Russell, President

Date 6-24-92

**ARCHITECT OR ENGINEER'S CERTIFICATION:**

The undersigned certifies that the work has been carefully inspected and to the best of their knowledge and belief, the quantities shown in this estimate are correct and the work has been performed in accordance with the contract documents.

Architect or Engineer Crowder Associates

By Ray Crowder, Architect

Date 6-26-97

APPROVED BY OWNER:

Owner \_\_\_\_\_

By Donald O. Young, Vice-Chairman

Date 10-29-92

ACCEPTED BY FmHA:

The review and acceptance of this estimate by FmHA does not attest to the correctness of the quantities shown or that the work has been performed in accordance with the contract documents.

By Wm J. Johnston

Date: 6-30-72

**FARM LABOR HOUSING**  
CALDWELL IDAHO

**The Russell Corporation**  
8150 Emerald St., Suite 100  
Boise, Idaho 83704  
(208) 323-0777

App. Number: 2  
App. Date: 6/24/92  
Period From: 6/1/92  
Period To: 7/1/92

Item No.	Description Of Work	Scheduled Value	Work Completed		Completed & Stored To Date	%	Balance To Finish	Retainage
			Previous Application	Work In Place				
1	DEMOLITION	31,500		2,000	2,000	6	29,500	200
2	SITEWORK	628,518	21,000	90,000	111,000	18	517,518	11,100
3	CONCRETE	283,827		60,000	60,000	21	223,827	6,000
4	CARPENTRY	735,000			180,000	24	555,000	18,000
5	ROOFING	43,151			0	0	43,151	0
6	DOORS / WDWS / HDW	116,925			0	0	116,925	0
7	INSUL. / DRYWALL	128,118		2,000	2,000	2	126,118	200
8	FLOOR COVERING	61,492			0	0	61,492	0
9	PAINTING	64,200			0	0	64,200	0
10	SPECIALTIES	79,040			0	0	79,040	0
11	MECHANICAL	237,720		25,000	25,000	11	212,720	2,500
12	ELECTRICAL	171,800	42,500	6,000	<del>48,500</del> 42,500	42	<del>123,300</del> 129,300	<del>48,500</del> 49,500
13	GENERAL CONDITIONS	145,409	62,000	8,300	70,300	48	75,109	7,030
14	CHANGE ORDER # 1	4,025			0	0	4,025	0
<b>TOTAL</b>		<b>2,730,725</b>	<b>125,500</b>	<b>193,300</b>	<b>522,800</b>	<b>19</b>	<b>2,207,900</b>	<b>52,280</b>
			<b>180,000</b>		<b>498,800</b>		<b>2,227,900</b>	<b>49,880</b>